



NOTICE OF MEETING OF THE WOODBURY COUNTY BOARD OF SUPERVISORS (DECEMBER 9 2025) (WEEK 50 OF 2025)

Live streaming at:

<https://www.youtube.com/user/woodburycountyiowa>

Agenda and Minutes available at:

www.woodburycountyiowa.gov

Daniel A. Bittinger II
389-4405

dbittinger@woodburycountyiowa.gov

Kent T. Carper
570-7681

kcarper@woodburycountyiowa.gov

David L. Dietrich
870-9224

ddietrich@woodburycountyiowa.gov

Mark E. Nelson
540-1259

mnelson@woodburycountyiowa.gov

Matthew A. Ung
490-7852

matthewung@woodburycountyiowa.gov

You are hereby notified a meeting of the Woodbury County Board of Supervisors will be held December 9, 2025, at **4:30 p.m.** in the Basement of the Courthouse, 620 Douglas Street, Sioux City, Iowa, for the purpose of taking official action on the agenda items shown hereinafter and for such other business that may properly come before the Board.

This is a formal meeting during which the Board may take official action on various items of business. Members of the public wishing to speak on an item must follow the participation rules adopted by the Board of Supervisors.

1. Please silence cell phones and other devices while in the Boardroom.
2. The Chair may recognize speakers on agenda items after initial discussion by the Board.
3. Speakers will approach the microphone one at a time and give their name and address before their statement.
4. Speakers will limit their remarks to three minutes on any one item and address their remarks to the Board.
5. At the beginning of discussion on any item, the Chair may request statements in favor of an action be heard first followed by statements in opposition to the action. The Chair may also request delegates provide statements on behalf of multiple speakers.
6. Any concerns or questions which do not relate to a scheduled item on the agenda will be heard under the item "Citizen Concerns." Please note the Board is legally prohibited from taking action on or engaging in deliberation on concerns not listed on the agenda, and in such cases the Chair will request further discussion take place after properly noticed.
7. Public comment by electronic or telephonic means is prohibited except for a particular agenda item when approved by the Chair 24 hours before a meeting or by a majority of the board during a meeting for a subsequent meeting.

AGENDA

3:45 p.m. Closed Session {Iowa Code Section 21.5 (1) (c)}

4:30 p.m. Call Meeting to Order – Pledge of Allegiance to the Flag – Moment of Silence

1. Approval of the agenda

Action

Consent Agenda

Items 2 through 4 constitute a Consent Agenda of routine action items to be considered by one motion. Items pass unanimously unless a separate vote is requested by a Board Member.

2. Approval of the minutes of December 2, 2025
3. Approval of claims
4. Human Resources – Melissa Thomas
 - a. Approval of Memorandum of Personnel Transactions
 - b. Authorization to Initiate Hiring Process
 - c. Approval of request to deauthorize county positions

End of Consent Agenda

- | | | |
|-------------------------|---|-------------|
| | 5. Siouxland District Health – Kevin Grieme
Approval of amended Minimum Requirements for Tanning Facilities in
Woodbury County Rule 23-3 as approved by Siouxland District Health Board
of Health | Action |
| 4:40 p.m.
(Set time) | 6. Building Services – Kenny Schmitz
a. Receive LEC demolition (407 – 7 th Street) competitive bid submissions | Action |
| | b. Award LEC demolition project (407 – 7 th Street) contract to lowest, responsible
bidder | Action |
| | 7. Planning/Zoning – Daniel Priestley
a. Receive the final report and recommendation from the Zoning Commission
following their 11/24/25 meeting to approve a Zoning Ordinance Map Amendment
(Rezone) from the Agricultural Preservation (AP) Zoning District to the
Agricultural Estates (AE) Zoning District on Parcel #874624200011 for Doug
Skinner (Skinner Holdings LLC) | Action |
| 4:40 p.m.
(Set time) | b. Conduct the first public hearing on the said proposed Zoning Ordinance Map
Amendment (Rezone) from AP to AE on Parcel #874624200011 | Action |
| | c. Approve the first reading of the said Zoning Ordinance Map Amendment (Rezone)
from AP to AE on Parcel #874624200011 | Action |
| | d. Receive the final report and the Zoning Commission's recommendation from
their 11/24/25 meeting to approve the final plat of Brosamle Addition, a minor
subdivision to Woodbury County, Iowa | Action |
| | e. Approve the Brosamle Addition, a minor subdivision to Woodbury County, Iowa | Action |
| | 8. Secondary Roads – Laura Sievers
a. Approval of a preconstruction agreement for the Iowa DOT PCC Project on
US 20 near Merville | Action |
| | b. Approval of a preconstruction agreement for the Southbridge Interchange
Project | Action |
| | c. Approval of resolution to update county bridge postings and closures | Action |
| | d. Approve the public highway agreement with the Union Pacific Railroad Company
and the Iowa DOT for the Southbridge Interchange Project | Action |
| | 9. Board Administration – Ryan Ericson
a. Approve effective January 1, 2026, set the County's contribution amounts
to the actuarial rates | Action |
| | b. Approve for FY 27 budget, effective July 1, 2026, set the County's contribution
amounts on the FY 2027 budget sheet | Action |
| | 10. Reports on Committee Meetings | Information |
| | 11. Citizen Concerns | Information |
| | 12. Board Concerns | Information |

ADJOURNMENT

Subject to Additions/Deletions

CALENDAR OF EVENTS

WED., DEC 10	7:30 a.m.	SIMPCO Executive Finance Committee Meeting, 6401 Gordon Dr.
	8:05 a.m.	Woodbury County Information Communication Commission, First Floor Boardroom
	12:00 p.m.	District Board of Health Meeting, 1014 Nebraska St.
THU., DEC 11	4:00 p.m.	Conservation Board Meeting, Dorothy Pecaut Nature Center, Stone Park
	5:30 p.m.	SIMPCO Board of Directors Holiday Party, Sioux City Country Club
WED., DEC 17	12:00 p.m.	Siouxland Economic Development Corporation Meeting, 617 Pierce St., Ste. 202
THU., DEC 18	4:30 p.m.	Community Action Agency of Siouxland Board Meeting, 2700 Leech Avenue
FRI., DEC 19	12:00 p.m.	Siouxland Human Investment Partnership Board Meeting, 607 – 4 th Street.
MON., DEC 22	5:00 p.m.	Zoning Commission Meeting, Courthouse Basement Boardroom
MON., JAN 5	5:00 p.m.	Board of Adjustment meeting, Courthouse Basement Boardroom
WED., JAN 7	7:30 a.m.	SIMPCO Executive/Finance Committee, 6401 Gordon Drive
	4:45 p.m.	Veteran Affairs Meeting, Veteran Affairs Office, 1211 Tri-View Ave.
WED., JAN 14	8:05 a.m.	Woodbury County Information Communication Commission, First Floor Boardroom
	12:00 p.m.	District Board of Health Meeting, 1014 Nebraska St.
	6:30 p.m.	911 Service Board Meeting, Public Safety Center, Climbing Hill
THU., JAN 15	12:00 p.m.	SIMPCO Board of Directors, 6401 Gordon Drive.
	4:00 p.m.	Conservation Board Meeting, Dorothy Pecaut Nature Center, Stone Park

Woodbury County is an Equal Opportunity Employer. In compliance with the Americans with Disabilities Act, the County will consider reasonable accommodations for qualified individuals with disabilities and encourages prospective employees and incumbents to discuss potential accommodations with the Employer.

Federal and state laws prohibit employment and/or public accommodation discrimination on the basis of age, color, creed, disability, gender identity, national origin, pregnancy, race, religion, sex, sexual orientation or veteran's status. If you believe you have been discriminated against, please contact the Iowa Civil Rights Commission at 800-457-4416 or Iowa Department of Transportation's civil rights coordinator. If you need accommodations because of a disability to access the Iowa Department of Transportation's services, contact the agency's affirmative action officer at 800-262-0003.

DECEMBER 2, 2025, FORTY-NINETH MEETING OF THE WOODBURY COUNTY BOARD OF SUPERVISORS

The Board of Supervisors met on Tuesday, December 2, 2025, at 3:15 p.m. Board members present were Carper, Dietrich, Nelson, Bittinger II, and Ung. Staff members present were Karen James, Board Administrative Assistant, Ryan Ericson, Budget and Finance Director, Melissa Thomas, HR Director, and Michelle Skaff, Auditor/Clerk to the Board.

Motion by Nelson second by Bittinger to go into joint closed session with LEC Authority (Iowa Code Section 21.5(1)(c). Carried 5-0 on roll-call vote.

Motion by Nelson second by Bittinger to go out of joint closed session with LEC Authority (Iowa Code Section 21.5(1)(c). Carried 5-0 on roll-call vote.

The regular meeting was called to order with the Pledge of Allegiance to the Flag and a Moment of Silence.

1. Motion by Bittinger second by Nelson to approve the agenda with the removal of request to deauthorize position from consent agenda for December 2, 2025. Carried 5-0. Copy filed.

Motion by Bittinger second by Nelson to approve the following items by consent:

2. To approve minutes of the November 26, 2025 meeting. Copy filed.
3. To approve the claims totaling \$150,268.46. Copy filed.
- 4a. To receive for signatures a Resolution Thanking and Commending Debbie Sewalson for her years of service with Woodbury County.

**WOODBURY COUNTY, IOWA
RESOLUTION #13,973
A RESOLUTION THANKING AND COMMENDING
DEBBIE SEWALSON
FOR HER SERVICE TO WOODBURY COUNTY**

WHEREAS, Debbie Sewalson has capably served Woodbury County as an employee of the Woodbury County Attorney's Office for 20 years from July 24, 2000, to December 31, 2025.

WHEREAS, the service given by Debbie Sewalson as a Woodbury County employee, has been characterized by her dedication to the best interests of the citizens of Woodbury County; and

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF WOODBURY COUNTY, IOWA that the undersigned members of this Board thanks and commends Debbie Sewalson for her years of service to Woodbury County; and

BE IT FURTHER RESOLVED that it is the wish of all those signing below that the future hold only the best for this very deserving person, Debbie Sewalson

BE IT SO RESOLVED this 2nd day of December, 2025.

WOODBURY COUNTY BOARD OF SUPERVISORS
Copy filed.

- 4a. To receive for signatures a Resolution Thanking and Commending Gerald Yaremko for his years of service with Woodbury County.

**WOODBURY COUNTY, IOWA
RESOLUTION #13,974
A RESOLUTION THANKING AND COMMENDING
GERALD YAREMKO
FOR HIS SERVICE TO WOODBURY COUNTY**

WHEREAS, Gerald Yaremko has capably served Woodbury County as an employee of the Woodbury County Secondary Roads Department for 17 years from February 8, 2008 to December 31, 2025.

WHEREAS, the service given by Gerald Yaremko as a Woodbury County employee, has been characterized by his dedication to the best interests of the citizens of Woodbury County; and

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF WOODBURY COUNTY, IOWA that the undersigned members of this Board thanks and commends Gerald Yaremko for his years of service to Woodbury County; and

BE IT FURTHER RESOLVED that it is the wish of all those signing below that the future hold only the best for this very deserving person, Gerald Yaremko

BE IT SO RESOLVED this 2nd day of December, 2025.
WOODBURY COUNTY BOARD OF SUPERVISORS
Copy filed.

- 4b. To approve and authorize the Chairperson to sing a Resolution approving petition for suspension of taxes for Dorothy Chauncey, parcel #894716108009, 3529 Douglas St.

WOODBURY COUNTY, IOWA
RESOLUTION #13,975
RESOLUTION APPROVING PETITION FOR SUSPENSION OF TAXES

WHEREAS, Dorothy Chauncey, as titleholder of a property located 3529 Douglas St., Sioux City, Iowa, Woodbury County, Iowa, and legally described as follows:

Parcel #894716108009

PEIRCES ADDITION E ½ LOTS 1 & 2 BLOCK 102

WHEREAS, Dorothy Chauncey of the aforementioned property has petitioned the Board of Supervisors for a suspension of taxes pursuant to the 2017 Iowa Code section 427.9, and

WHEREAS, the Board of Supervisors recognizes from documents provided that the petitioner is unable to provide to the public revenue; and

NOW, THEREFORE, BE IT RESOLVED, that the Woodbury County Board of Supervisors hereby grants the request for a suspension of taxes and hereby directs the Woodbury County Treasurer to so record the approval of this tax suspension for this property.

SO RESOLVED this 2nd day of December 2025.
WOODBURY COUNTY BOARD OF SUPERVISORS
Copy filed.

- 5a. To approve the reclassification of Bethany Lukart, Paramedic - PT, Emergency Services Dept., effective 11-24-2025, \$27.65/hour, 12%=\$3.03/hr. BOS Approved 11-18-2025. Move from EMT to Paramedic.; the reclassification of Nicholas Poese, Advanced EMT, Emergency Services Dept., effective 11-24-2025, \$25.45/hour, 3%=\$0.83/hr. BOS Approved 11-18-2025. Move from EMT to Advanced EMT.; the other of Laysa Vazquez, Youth Worker PT, Juvenile Detention Dept., effective 12-01-2025, \$22.71/hour, 0%. Transfer from PT-Temp to PT. In-house Job Vacancy Posted 11/19/25.; the reclassification of Steven Pickering, Civilian Jailer, County Sheriff Dept., effective 12-08-2025., \$31.12/hour, 10%=\$2.95/hr. Per CWA Civilian – Move from 1st Class to Senior. Anniversary Date: 12/8/25.; and the reclassification of Adrian Torres-Gomez, Youth Worker, Juvenile Detention Dept., effective 12-08-2025, \$23.62/hour, 4%=\$0.91/hr. Per AFSCME Juvenile – Move from Step 1 to Step 2. Anniversary Date: 12/19/25 Copy filed.

- 5b. To approve and authorize the Chairperson to sign the Authorization to initiate the hiring process for Youth Worker – PT Temp, Juvenile Detention Dept. AFSCME Juvenile: \$22.71/hour. Copy filed.
- 5d. To approve the request of Tony Wingert to remain on the county dental insurance. Copy filed.
- 6. To approve an application for a 12-month Class C Retail Alcohol License, for Lofted View Events effective 12/05/25 through 12/04/26. Copy filed.

Carried 5-0.

- 7a. A public hearing was held at 4:40 p.m. for LEC demolition project (407 7th St). The Chairperson called on anyone wishing to be heard.

Motion by Nelson second Dietrich by to close the public hearing. Carried 5-0. Copy filed.
- 7b. Motion by Bittinger second by Nelson to set the date to open bid submissions for 12/09/2025 at 3:00 p.m. in Woodbury County Courthouse Board Office. Carried 5-0. Copy filed.
- 7c. Motion by Bittinger second by Nelson to authorize the Building Services Director to open bid submissions. Carried 5-0. Copy filed.
- 7d. Motion by Bottinger second by Nelson to receive bid submissions & award contract on 12/09/2025 at 4:40 p.m. during the Woodbury County Courthouse Board meeting. Carried 5-0. Copy filed.
- 8. Reports on committee meetings were heard.
- 9. There were no citizen concerns.
- 10. Board concerns were heard.

The Board adjourned the regular meeting until December 9, 2025.

Meeting sign in sheet. Copy filed.

HUMAN RESOURCES DEPARTMENT

MEMORANDUM OF PERSONNEL TRANSACTIONS

DATE: December 9, 2025

*** PERSONNEL ACTION CODE:**

A- Appointment
T - Transfer
P - Promotion
D - Demotion
R-Reclassification
E- End of Probation
S - Separation
O - Other

TO: WOODBURY COUNTY BOARD OF SUPERVISORS

NAME	DEPARTMENT	EFFECTIVE DATE	JOB TITLE	SALARY REQUESTED	% INCREASE	*	REMARKS
Tompkins, Aaron	Sheriff's Office	12-08-2025	Civilian Jailer	\$31.12/hour	10%=\$2.92/hr	R	Per CWA Civilian- AA Degree + 6 Years of Service Move to Senior. Anniversary Date: 12/16/25
Martin, James	Secondary Roads	12-22-2025	District Foreman	\$3,312.71/bi-weekly	2%=\$69.90/bi-weekly	R	Per Wage Plan Matrix - 4 Year Increase. Anniversary Date: 12/23/25.

APPROVED BY BOARD DATE: _____

MELISSA THOMAS, HR DIRECTOR:

Melissa Thomas HR Director

HUMAN RESOURCES DEPARTMENT

WOODBURY COUNTY, IOWA

DATE: December 9, 2025

AUTHORIZATION TO INITIATE HIRING PROCESS

DEPARTMENT	POSITION	ENTRY LEVEL	APPROVED	DISAPPROVED
Secondary Roads	Equipment Operator	CWA Roads: \$27.86/hour		
Sheriff's Office	Deputy	CWA Deputies: \$35.55/hour		

Chairman, Board of Supervisors

HUMAN RESOURCES DEPARTMENT
WOODBURY COUNTY, IOWA

DATE: December 9, 2025

REQUEST TO DEAUTHORIZE COUNTY POSITION(S)

DEPARTMENT	POSITION	APPROVED	DISAPPROVED
EMS	2 PT Operations Officers -0.50 FTE		

Chairman, Board of Supervisors



Woodbury County Sheriff's Office

LAW ENFORCEMENT CENTER
P. O. BOX 3715 SIOUX CITY, IOWA 51102

DAVID A. DREW, SHERIFF

PHONE: 712.279.6010
E-MAIL: ddrew@woodburycountyiowa.gov
FAX: 712.279.6522

December 1, 2025

To the Woodbury County Board of Supervisors & Human Resources Department,

The Woodbury County Sheriff's Office respectfully requests discussion and action on the authorization to hire Zachary Wingert for a Lateral Transfer Deputy Sheriff position, with a starting wage of \$35.55 per hour. This will be replacing Tony Wingert, whose retirement date is 1-16-2026. We request this be placed on the agenda for the Woodbury County Board of Supervisors meeting, with a starting date of 01-05-2026. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Chad Sheehan".

Chad Sheehan, Sheriff

Cc: file



Woodbury County Secondary Roads Department

759 E. Frontage Road · Merville, Iowa 51039

Telephone (712) 279-6484 · (712) 873-3215 · Fax (712) 873-3235

To: Human Resources Department

From: Laura Sievers, P.E., Woodbury County Engineer

Date: October 31, 2025

Subject: Equipment Operator Vacancy – District 3, Correctionville Maintenance Shop

The purpose of this memorandum is to formally notify your office of an upcoming vacancy in the District 3 Correctionville Maintenance Shop. Mr. Gerald Yaremko has submitted notice of his retirement, effective December 31, 2025.

In anticipation of this vacancy, I respectfully request authorization to initiate the hiring process at this time. Entering the winter season understaffed presents significant operational challenges, and the training of new snowplow operators during that period is particularly difficult.

Historically, the hiring process for this position has required approximately six to eight weeks to complete. A brief overlap of one to two weeks between the outgoing and incoming employees would be temporary but highly beneficial to maintain service continuity for the traveling public.

Thank you. Your cooperation and consideration of this request are greatly appreciated.

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 11/24/2025 Weekly Agenda Date: 12/09/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Kevin Grieme- Director Siouxland District Health

WORDING FOR AGENDA ITEM:

Acceptance of amended Minimum Requirements for Tanning Facilities in Woodbury County Rule 23-3 as approved by Siouxland District Health Board of Health

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☐

Public Hearing ☐

Other: Informational ☐

Attachments ☐

EXECUTIVE SUMMARY:

In 2020 SDHD Board of Health adopted Rule 23-3 Minimum Requirments for Tanning Facilities in Woodbury County. The proposed changes reflect appropriate Iowa code and state department adjustments.

BACKGROUND:

In 2020 the SDHD Board of Health adopted rule 23-3 Minimum Requirements for Tanning facilities in Woodbury County. In recent legislation the state department that oversees this was changed from the Iowa Dept. of Public Health to the Iowa Dept. of Inspections, Appeals and Licensing (DIAL). There were also changes in Iowa Code that needed to be updated. A public hearing for this was held 11-12-25.

FINANCIAL IMPACT:

\$0

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☒

RECOMMENDATION:

To accept amended Rule 23-3 Minimum Requirements for Tanning Facilities in Woodbury County as presented.

ACTION REQUIRED / PROPOSED MOTION:

Move to accept amended Rule 23-3 Minimum Requirements for Tanning Facilities in Woodbury County.

Minimum Requirements for Tanning Facilities in Woodbury County
Siouxland District Board of Health
Rule 23-3

Pursuant to the authority of the Siouxland District Board of Health, as set out in Section 137.6 of the Code of Iowa, the Siouxland District Board of Health, Woodbury County, Iowa does hereby approve the following rules and regulations:

23-3.1: Purpose and Scope

These rules provide for the regulation of tanning facilities and devices used for the purpose of tanning human skin through the application of ultraviolet radiation. This includes, but is not limited to, public and private businesses, hotels, motels, apartments, condominiums, health and country clubs.

All references to Code of Federal Regulations (CFR) in this rule are those in effect as of the date of enactment, and as may be amended in the future.

These rules stipulate minimum safety requirements relating to the operation of tanning devices; qualifications for tanning facility operators; and procedures for the inspection of tanning facilities and enforcement of these requirements. Tanning facilities which are in compliance with these rules are not relieved from the requirements of any other federal and state regulations or local ordinances.

The provisions contained herein apply to tanning facilities within the unincorporated and incorporated areas in Woodbury County, Iowa

23-3.2: Definitions

Board of Health- Means the Siouxland District Board of Health.

Cleansing- Means to remove soil, dirt, oils or other residues from the surface tanning unit which may come into contact with the skin.

Cleansing agent- Means a substance capable of producing the effect of cleansing. These agents shall not adversely affect the equipment or the health of the consumer and shall be acceptable to the Iowa Department of Inspections, Appeals, and Licensing (DIAL) or the Board of Health.

Consumer-Means any member of the public who is provided access to a tanning facility in exchange for a fee or other compensation, or any individual who, in exchange for a fee or other compensation, is afforded use of a tanning facility as a condition or benefit of membership or access.

Department- Means the Siouxland District Health Department (SDHD).

Exposure position- Means any position, distance, orientation, or location relative to the radiation surfaces of a tanning device at which the user is intended to be exposed to ultraviolet radiation from the product, as recommended by the manufacturer.

Formal training- Means a course of instruction approved by the Iowa Department of Inspections, Appeals, and Licensing for operators of tanning facilities.

Health Officer- means an authorized representative of the Siouxland District Health Department who has been trained in tanning establishments and tanning inspections.

Healthcare Professional- Means an individual, licensed by the state of Iowa, who has received formal medical training in the use of phototherapy.

Inspection- Means an official examination or observation including but not limited to tests, surveys, and monitoring to determine compliance with rules, orders, requirements and conditions of these rules.

Manufacturer's recommendations- Means written guidelines established by a manufacturer and approved by the U.S. Food and Drug Administration for the installation and operation of the manufacturer's equipment.

Operator- Means an individual designated to control operation of the tanning facility and to instruct and assist the consumer in the proper operation of the tanning devices.

Permit or Permit to Operate- Means a document issued by the Iowa Department of Inspections, Appeals, and Licensing which authorizes a person to operate a tanning facility.

Person- Means any individual, corporation, partnership, firm, association, trust, estate, public or private institution, group, agency, political subdivision of this state, or any other state or political subdivision or agency thereof, and any legal successor, representative, agent or agency of the foregoing, but shall not include federal government agencies.

Phototherapy device- Means a piece of equipment that emits ultraviolet radiation and is used by a health care professional in the treatment of disease.

Tanning device- Means any equipment that emits electromagnetic radiation with wavelengths in the air between two hundred (200) and four hundred (400) nanometers and that is used for tanning of human skin, such as sunlamps, tanning booths, or tanning beds. The term also includes any accompanying equipment such as protective eyewear, timers, and handrails.

Tanning facility- Means a place that provides access to tanning devices for compensation.

Ultraviolet radiation- Means electromagnetic radiation with wavelengths in air between two hundred (200) nanometers and four hundred (400) nanometers.

23-3.3: Exemptions

The Iowa Department of Inspections, Appeals, and Licensing and or the Board of Health may upon application or upon its own initiative, grant exemptions from the requirements of these rules as long as it will not result in undue hazard to public health and safety. The following categories of devices are exempt from the provisions of this rule

- 3.3(1) Other Purposes. Devices intended for purposes other than the deliberate exposure of human skin to ultraviolet radiation which produce or emit ultraviolet radiation incidental to their proper operation.

3.3(2) Personal Use. Tanning devices which are limited exclusively to personal use by an individual and this individual's immediate family. Multiple ownership of the device by persons for personal use only does not qualify it for the "personal use only" exemption.

3.3(3) Phototherapy Devices. Phototherapy devices used by a properly trained health care professional in the treatment of disease.

23-3.4: Permits

3.4(1) Permit to Operate.

- a. No tanning facility shall be operated in Woodbury County without having a current permit to operate issued by the Iowa Department of Inspections, Appeals, and Licensing.
- b. No permit shall be transferable from one person to another or from one tanning facility to another.

23-3.5: Inspections, Enforcement, and Fees

3.5(1) Inspections.

- a. Routine inspections shall be conducted annually by the Health Officer.
- b. A special inspection shall be conducted when warranted by a complaint from the public or when deemed necessary due to failure to send a corrective action plan.
- c. Inspections shall include the following areas: proper operation and maintenance of devices, review of required records and training documentation, operator understanding and competency, and the requirements of these rules.
- d. The Health Officer shall have access at all reasonable times to any tanning facility to inspect the facility to determine if this rule is being violated.

3.5(2) Enforcement.

- a. The Health Officer shall provide a written notice, including the following steps, when enforcement of this rule is necessary.
 - (1) Cite each section of the Board of Health rules and regulations violated.
 - (2) Specify the manner in which the owner or operator failed to comply.
 - (3) Request a corrective action plan, including a time schedule for completion of the plan.
 - (4) Set a reasonable time limit, not to exceed thirty (30) days from the date of the notice, within which the permit holder must respond.
- b. The Health Officer shall review the corrective action plan and approve it or require that it be modified.
- c. In cases where the permit holder fails to comply with conditions of the written notice, the department may send a regulatory letter, via certified mail, advising the permit holder that unless action is taken within a specified period of time, the case shall be turned over to the county attorney for further action.

3.5(3) Fees.

- a. Inspection and penalty fees will be set by the Board of Health. The fees billed will be paid to the department.
- b. Inspection fees shall be due upon receipt of payment due notice.
- c. Inspection fees not received within forty-five (45) days of the date of billing will be assessed a late fee penalty for each month or fraction thereof that the bill is delinquent.
- d. A penalty fee may be assessed for the following:
 - (1) Failure to respond to a written notice of violation within thirty (30) days of the date of the notice.
 - (2) Failure to correct violations cited during the inspection.

3.5(4) Notification to the Iowa Department of Inspections, Appeals, and Licensing.

- a. The department may make notification to the Iowa Department of Inspections, Appeals, and Licensing for their consideration in permitting and follow up when any of the following occurs:
 - (1) Failure to pay any of the fees required in this rule.
 - (2) Failure to respond to a written notice of violation.
 - (3) Continued violation of the requirements of this rule.
 - (4) Operation of a tanning facility in a manner that causes or threatens to cause hazard to the public health or safety.

23-3.6: Construction and Operation of Tanning Facilities

Unless otherwise ordered or approved by the Iowa Department of Inspections, Appeals, and Licensing and the department, each tanning facility shall be constructed, operated, and maintained to meet the following minimum requirements:

3.6(1) A tanning facility shall provide and post the following warning signs and statements that describe the hazards associated with the use of tanning devices:

- a. A warning sign in a conspicuous location readily visible to persons entering the establishment. This warning sign shall use 0.5-inch (12.7 millimeter) letters for "DANGER, ULTRAVIOLET RADIATION" and 0.25-inch (6.4 millimeter) letters for all other lettering. The sign shall use lettering against a white background, be at least nine (9) inches by twelve (12) inches (22.9 centimeters by 30.5 centimeters) and have the following wording:

DANGER
ULTRAVIOLET RADIATION
Overexposure can cause

- Eye and skin injury

- Allergic reaction
- Repeated exposure may cause
- Premature aging of the skin
- Skin cancer
- Failure to wear protective eyewear may result in
- Severe burns to eyes
- Long-term injury to eyes
- Medication or cosmetics may increase your sensitivity.

- b. A warning sign with the identical wording set forth in 1a of this section posted within one meter (3.28 feet) of the tanning device in a conspicuous location readily visible to a person preparing to use the device. This warning sign shall use 0.5-inch (12.7 millimeter) lettering for "DANGER, ULTRAVIOLET RADIATION" and 0.25-inch (6.4 millimeter) for all other lettering. The sign shall use lettering against a white background and be at least six inches by nine inches (15.2 centimeters by 22.9 centimeters) in size.
- c. A tanning facility shall provide each customer with a written warning statement prior to the customer's initial exposure, and annually thereafter, which includes at least the following information:
 - (1) A representative list of potential photosensitizing drugs and agents; this list should at least include drugs or agents in the product classes of acne treatment, antibacterial, antibiotics, anticonvulsants, antidepressants, antidiabetics, antihypertensive, dye, estrogen and progesterone's, melanogenic, perfumes and toilet articles, tranquilizers, antihistamines, and antimicrobials/anti-infectious agents. A partial list of drugs and agents in these product classes is found in Appendix 1, which is adopted by reference from IAC 481, Chapter 496.
 - (2) Basic information on how different skin types respond to tanning (See Appendix No. 2, adopted by reference from IAC 481, Chapter 496).
 - (3) A listing of the potential negative health effects related to ultraviolet exposure, including the need to use eyewear (See Appendix 3, adopted by reference from IAC 481, Chapter 496).
 - (4) The operator shall then request that the consumer sign a statement that the information has been read and understood.
 - (5) The information in Appendices 1, 2 and 3 shall be posted in each tanning room.

3.6(2) Federal Certification.

- a. Only tanning devices manufactured and certified under the provisions of 21 CFR Part 1040.20, "Sunlamp products and ultraviolet lamps intended for use in sunlamp products," shall be used in tanning facilities. Compliance shall be based on the standard in effect at the time of manufacture as shown on the device identification label required by 21 CFR Part 1010.2 and 1010.3.

- b. Labeling shall meet the requirements, be visible on each tanning device and be permanently affixed. Labeling shall include:

- (1) Warning statement with the words:

"DANGER—Ultraviolet radiation. Follow instructions. Avoid overexposure. As with natural sunlight, overexposure can cause eye and skin injury and allergic reactions. Repeated exposure may cause premature aging of the skin and skin cancer. WEAR PROTECTIVE EYEWEAR; FAILURE TO MAY RESULT IN SEVERE BURNS OR LONG-TERM INJURY TO THE EYES. Medications or cosmetics may increase your sensitivity to the ultraviolet radiation. Consult a physician before using a sunlamp if you are using medications or have a history of skin problems or believe yourself especially sensitive to sunlight. If you do not tan in the sun, you are unlikely to tan from the use of this product."

- (2) Recommended Exposure Position(s). Any exposure position may be expressed either in terms of a distance specified both in meters and in feet (or in inches) or through the use of markings or other means to indicate clearly the recommended exposure position.
- (3) Directions for achieving the recommended exposure position(s) and a warning that the use of other positions may result in overexposure.
- (4) A recommended exposure schedule including duration and spacing of sequential exposures and maximum exposure time(s) in minutes.
- (5) A statement of the time it may take before the expected results appear.
- (6) Designation of the ultraviolet lamp type to be used in the product.
- (7) An additional statement with the words:

"Attention: This sunlamp product should not be used on persons under the age of 18 years."

This statement shall be placed in a black box with text at least 10mm in height. It shall appear on a part or panel displayed prominently under normal conditions of use so that it is readily accessible to view whether the tanning bed canopy (or tanning booth door) is open or closed when the persons who will be exposed approaches the equipment.

3.6(3) Tanning Device Timers.

- a. Each tanning device shall have a timer which complies with the requirements of 21 CFR Part 1040.20. The maximum timer interval shall not exceed the manufacturer's maximum recommended exposure time. No timer shall have an error factor greater than +/- 10 percent of the indicated setting.
- b. Each tanning device must have a method of remote timing located so that customers may not control their own exposure time.

- c. Tokens for token timers shall not be issued to any consumer in quantities greater than the device manufacturer's maximum recommended exposure time for the consumer.

3.6(4) Each tanning device shall incorporate a control on the product to enable the consumer to manually terminate the radiation emission from the product at any time without disconnecting the electrical source or removing the ultraviolet lamp.

3.6(5) The operator shall ensure that the facility interior temperature does not exceed one hundred (100) degrees Fahrenheit or thirty-eight degrees Celsius.

3.6(6) Condition of Tanning Devices.

- a. There shall be physical barriers to protect consumers from injury induced by touching or breaking the lamps.
- b. The tanning devices shall be maintained in good repair and comply with all state and local electrical code requirements.

3.6(7) Additional Requirements for Stand-up Booths.

- a. There shall be physical barriers (handrails, etc.) or other means (floor markings) to indicate the proper exposure distance between ultraviolet lamps and the consumer's skin.
- b. The construction of the booth shall be such that it will withstand the stress of use and the impact of a falling person.
- c. Access to the booth shall be of rigid construction; doors shall open outwardly. Handrails and nonslip floors shall be provided.

3.6(8) Protective Eyewear.

- a. Eyewear shall not be re-used by another consumer.
- b. Protective eyewear shall meet the requirements of 21 CFR Part 1040.20(c)(4).
- c. Protective eyewear shall not be altered in any manner that would change its use as intended by the manufacturer (such as the removal of straps).
- d. A tanning facility operator shall not allow a consumer to use a tanning device if that consumer does not use the protective eyewear required by this rule. To verify that a consumer has the proper eye wear, the operator must:
 - (1) Ask to see the eyewear before the consumer enters the tanning room; OR
 - (2) Provide disposable eyewear in the tanning room at all time and post a sign stating that the eyewear is available, and that eyewear must be worn.
- e. A tanning facility operator shall instruct the consumer in the proper utilization of the protective eyewear.

3.6(9) Operation.

- a. A trained operator must be present when a tanning device is operated. The operator must be within hearing distance to allow the consumer to easily summon help if necessary. If the operator is not in the immediate vicinity during use, the following conditions must be met:
 - (1) The consumer can summon help through use of an audible device such as an intercom or buzzer; and
 - (2) The operator can reach the consumer within a reasonable amount of time after being summoned.
- b. The facilities permit to operate shall be displayed in an open public area of the tanning facility.
- c. A record shall be kept by the facility operator of each consumer's total number of tanning visits and tanning times, exposure lengths in minutes, times and dates of the exposure, and any injuries or illness resulting from the use of the tanning device.
- d. Any tanning injury NOT requiring a physician's care and any resulting changes in tanning sessions shall be noted in the consumer's file. A written report of any tanning injury requiring a physician's care shall be forwarded by the permit holder to the Iowa Department of Inspections, Appeals, and Licensing within five working days of its occurrence or knowledge thereof, and a copy kept on file at the tanning facility. The report shall include:
 - (1) The name of the affected individual;
 - (2) The name and location of the tanning facility involved;
 - (3) The nature of the injury;
 - (4) The name and address of health care provider treating the affected individual, if any; and
 - (5) Any other information considered relevant to the situation.
- e. Defective or burned-out lamps or filters shall be replaced with a type intended for use in that device as specified on the product label on the tanning device, or, with lamps or filters that are "equivalent" under 21 CFR Part 1040, Section 1040.20 and policies applicable at the time of lamp manufacture. Documentation of lamp equivalency shall be kept on file at the tanning facility, and made available during inspections.
- f. The permit holder shall replace ultraviolet lamps and bulbs, which are not otherwise defective or damaged, at such frequency or after such duration of use as may be recommended by the manufacturer of such lamps or bulbs.
- g. Contact surfaces of tanning devices shall be:
 - (1) Cleansed by the operator with a cleansing agent between each use; or
 - (2) Covered by a non-reusable protective material during each use; or
 - (3) Cleansed by consumer provided the following conditions are met:

- (a) The operator instructs the consumer annually on how to properly cleanse the unit
 - (b) The consumer annually signs a statement stating that the consumer agrees to cleanse the unit after each use
 - (c) Signs are posted in each tanning room reminding the consumer to cleanse the tanning unit after each use and stating the proper way to cleanse the unit; and
 - (d) The operator cleanses the tanning unit at least once a day.
- h. The operator shall limit the exposure of the consumer to the maximum exposure frequency and session duration recommended by the manufacturer.
- i. When a tanning device is being used, no other person shall be allowed to remain in the tanning device area.
- j. No person or facility shall advertise or promote tanning packages labeled as “unlimited” unless tanning frequency limits set by the manufacturer are included in the advertisements.

3.6(10) Recordkeeping

- a. Any records or documentation required by this rule must be maintained in the tanning facility for a minimum of two years. Records maintained electronically on computer systems must be available to view during inspections and retrievable as a printed copy.

3.6(11) Training of Operators.

- a. No individual shall begin functioning as an operator unless the individual has satisfactorily completed a training program. Training shall include but not be limited to:
 - (1) The requirements of IAC 481, Chapter 496 and this rule;
 - (2) Procedures for correct operation of the tanning facility and tanning devices;
 - (3) The determination of skin type of consumers and appropriate determination of duration of exposure to tanning devices;
 - (4) Recognition of reaction or overexposure;
 - (5) Manufacturer's procedures for operation and maintenance of tanning devices.
- b. Owners and managers must complete formal training and competency testing approved by the Iowa Department of Inspections, Appeals, and Licensing and the department. All owners and managers must satisfactorily pass a certification examination approved by the Iowa Department of Inspections, Appeals, and Licensing and the department before operating a tanning facility or training employees.
- c. Owners and managers are responsible to train each operator in the above topics and to provide review as necessary. Training programs shall be approved by the Iowa Department of Inspections, Appeals, and Licensing and the department including

final testing. Operators shall be questioned during inspections as to the level of the individual's understanding and competency in operating the tanning device.

- d. Documentation of training and testing for both owner/managers and operators must be maintained in the tanning facility and available for inspection. For operators the employee record shall be the original test which bears the signature of the employee, the date, and a statement signifying that all answers have been completed by the employee and without prior knowledge to the scoring key.
- e. Operators shall be at least 16 years of age.
- f. Operators shall complete the required training and testing every five years.
- g. Owner/Manager shall complete the required testing every five years.

3.6(12) Promotional Materials.

- a. A tanning facility shall not claim, or distribute promotional materials that claim, that using a tanning device is safe or free from risk or that the use of the device will result in medical or health benefits. The only claim that may be made is that the device is for cosmetic use only.

3.6(13) Requirements for electronically controlled facilities. Electronically controlled facilities are those facilities that rely on electronic means to monitor consumers.

- a. Entry into the facility is allowed by card only. Only one individual may enter under each card. The card is specifically activated for tanning use if the facility offers other activities and tanning will not activate if the card is not programmed for tanning. The card will not activate if two individuals are in the tanning room.
- b. Police and all emergency services will have access to the facility through a key box located outside the entrance of the facility.
- c. The consumer must sign a tanning agreement that states the number of minutes per session, that the consumer agrees to wear protective eyewear, that the consumer will cleanse the unit after tanning, and that the consumer is aware of the emergency access in each room.
- d. The card will be programmed for the number of minutes the consumer is allowed to tan. The card may be reprogrammed for an increase in minutes per session only after the consumer has reviewed and re-signed the Tanning Agreement. After 30 consecutive days without the consumer's accessing the tanning facility, the card will be deactivated, and the consumer must reapply to access the tanning unit.
- e. The operator will demonstrate to each consumer how to properly cleanse the unit after tanning, including the top, bottom, and handles. A sign will be placed in each room explaining the cleansing process. The operator will cleanse the units at least once a day when they are in use.
- f. Free disposable eyewear will be placed in each room along with a sign stating that the disposable eyewear is available, and that eyewear must be worn.

- g. An emergency call button or device will be placed in each tanning room conveniently located within reach of the tanning bed. This device will call the operator or emergency personnel.
- h. During annual inspections, the inspector may ask any consumer about any of the above processes.

23-3.7: Advanced Enforcement and Penalties

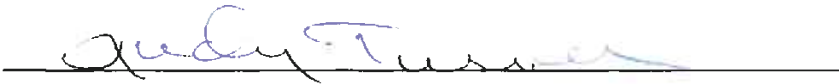
- 3.7(1)** Any person who violates any provision of this rule of the Siouxland District Board of Health is guilty of a civil infraction. Each additional day of neglect or failure to comply with any provision, rule, or lawful order after notice of violation by the local board of health shall constitute a separate infraction. See Iowa Code Section 137.117.
- 3.7(2)** A civil infraction under this rule of the Siouxland District Board of Health is punishable by a civil penalty not to exceed seven hundred fifty dollars (\$750) for each violation. If the violation is a repeat offense, a civil penalty not to exceed one thousand dollars may be imposed.
- 3.7(3)** This rule of the Siouxland District Board of Health shall be enforced pursuant to Iowa Code Section 331.307. Allowable relief includes both the imposition of a civil penalty and the imposition of other alternative forms of relief, remedies, or sanctions.
- 3.7(4)** Pursuant to Iowa Code Section 331.307, when judgment is entered against a defendant found liable of a violation of this Rule, the court may do any of the following:
 - a. Impose a civil penalty by entry of a personal judgment against the defendant.
 - b. Direct that payment of the civil penalty be suspended or deferred under conditions imposed by the court.
 - c. Grant appropriate alternative relief ordering the defendant to abate or cease the violation.
 - d. Authorize the Board of Health to abate or correct the violation.
 - e. Order that the Board of Health's costs for abatement or correction of the violation be entered as a personal judgment against the defendant or assessed against the property where the violation occurred, or both.

23-3.8: Amendments

The regulations and standards set forth in this Rule may from time to time be amended, supplemented, changed, or repealed. No amendment, supplement, change, or modification shall be undertaken without prior approval of the Siouxland District Board of Health.

**Minimum Requirements for Tanning Facilities in Woodbury County
Siouxland District Board of Health – Rule 23-3**

AUTHORIZATION TO ADOPT

A handwritten signature in blue ink, appearing to read "Judy Turner", is written over a horizontal line.

Judy Turner, Board Chairperson
Siouxland District Board of Health

DATED: 11-12-2025

AUTHORIZATION TO ACCEPT

A solid horizontal line intended for a signature.

Daniel Bittenger II, Board Chairperson
Woodbury County Board of Supervisors

DATED: _____

Appendix 1

POTENTIAL PHOTSENSITIZING AGENTS

1. Not all individuals who use or take these agents will experience a photosensitive reaction or the same degree of photosensitive reaction. An individual who experiences a reaction on one occasion will not necessarily experience it again or every time.
2. Names of agents should be considered only as examples. They do not represent all the names under which a product may be sold. A more complete list is available from the facility operator.
3. If you are using an agent in any of these classes, you should reduce UV exposure even if your particular medication is not listed.

Acne treatment (Retinoic acid, Retin-A) Psoralens (5-Methoxypsoralen, 8-Methoxypsoralen, 4,5,8-trimethyl-psoralen)

Antibacterials (deodorant bar soaps, antiseptics, cosmetics, halogenated carbanilides, halogenated phenols, halogenated salicylanilides, bithionol, chlorhexidine, hexachlorophene)

Antibiotics, anti-infectives (Tetracyclines)

Anticonvulsants (carbamazepine, trimethadione, promethazine)

Antidepressants (amitriptyline, Desipramine, Imipramine, Nortriptyline, Protriptyline), Tranquilizers, anti-emetics (Phenothiazines)

Antidiabetics (glucose-lowering agents) (sulfonylureas, oral antidiabetics, hypoglycemics)

Antihistamines (diphenhydramine, promethazine, triprolidine, chlorpheniramine)

Anti-inflammatory (Piroxicam), Non-steroidal anti-inflammatory drugs (Ibuprofen, Naproxen, Piroxicam)

Antimicrobials (griseofulvin), Sulfonamides ("Sulfa drugs," antimicrobials, anti-infectives)

Atropine-like drugs (anticholinergics, antiparkinsonism drugs, antispasmodics, synthetic muscle relaxants)

Coal tar and derivatives (Denorex, Tegrin, petroleum products used for psoriasis and chronic eczema and in shampoos)

Contraceptives, oral and estrogens (birth control pills, estrogens, progesterones)

Dyes (used in cosmetic ingredients, acridine, anthracene, eosin (lipstick), erythrosine, fluorescein, methyl violet, methylene blue, rose bengal)

Perfumes and toilet articles (musk ambrette, oil of bergamot, oil of cedar, oil of citron, oil of lavender, oil of lemon, oil of lime, oil of rosemary, oil of sandalwood)

Thiazide diuretics ("water pills")

Appendix 2

SUN-REACTIVE SKIN TYPES USED IN CLINICAL PRACTICE

SKIN TYPE	SKIN REACTIONS TO SOLAR RADIATION ^(a) EXAMPLES	EXAMPLES
I	Always burns easily and severely (painful burn). Tans little or none and peels.	People most often with fair skin, blue eyes, freckles. Unexposed skin is white.
II	Usually burns easily and severely (painful burn). Tans minimally or lightly, also peels.	People most often with fair skin; red or blonde hair; blue, hazel or even brown eyes. Unexposed skin is white.
III	Burns moderately and tans about average.	Normal average Caucasoid. Unexposed skin is white.
IV	Burns minimally, tans easily, and above average with each exposure. Exhibits IPD (immediate pigment darkening) reaction.	People with white or light brown skin, dark skin, dark brown hair, dark eyes. Unexposed skin is brown.
V	Rarely burns, tans easily and substantially. Always exhibits IPD reaction.	Unexposed skin is brown.
VI	Never burns and tans profusely; exhibits IPD reaction.	Unexposed skin is black.

(a) Based in the first 45-60 minutes (= 2-3 minimum erythema dose) exposure of the summer sun (early June) at sea level

Appendix 3

POTENTIAL NEGATIVE HEALTH EFFECTS RELATED TO ULTRAVIOLET EXPOSURE

1. Increased risk of skin cancer later in life.
2. Increased risk of skin thickening, age spots, irregular pigmentation, and premature aging.
3. Possibility of burning or rash, especially if using any of the potential photosensitizing drugs and agents. The consumer should consult a physician before using a tanning device if using medications, if there is a history of skin problems or if the consumer is especially sensitive to sunlight.
4. Increased risk of eye damage unless proper eyewear is worn. Iowa law requires the use of proper eyewear during tanning sessions.

TANNING SYSTEMS

1. Low-pressure tanning systems use a higher percentage of UVB rays which penetrate only the upper layer of skin and can cause burning more easily than high-pressure tanning systems. Low-pressure systems require more frequent sessions to maintain a tan. High-intensity tanning systems use more lamps and shorter tanning sessions than low-intensity tanning systems. These are still classified as low-pressure systems.
2. High-pressure tanning systems use a higher percentage of UVA rays which penetrate more deeply and can permanently damage the lower layers of skin and increase the incidences of skin cancers. High-pressure systems require fewer and less frequent sessions to maintain a tan.
3. The exposure schedule for each specific unit is shown on the labeling on the tanning unit. Iowa law requires the operator to limit the exposure of each consumer to the exposure schedule shown on the unit in which the consumer is tanning.

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/03/2025 Weekly Agenda Date: 12/09/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Kenny Schmitz

WORDING FOR AGENDA ITEM:

LEC Demolition Project (407 7th Street)- "Receive" Competitive Bid Submissions (4:40pm Set Time)

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☐

EXECUTIVE SUMMARY:

Pursuant to Iowa Code Chapter 26 Building Services hereby requests to read & officially "Receive" Contractors LEC Demolition Project competitive bid submissions

BACKGROUND:

12/02/25 Board of Supervisors Sets Dates, Times, Places to Receive & Award" Contract
12/02/25 Board of Supervisors Conducts Public Hearing
1/18/25 Board of Supervisors Sets Hearing Date/ Public Notice
11/18/25 Board of Supervisors Approves Form of Contract, Plans, & Specifications
9/02/25 Board of Supervisors Approves Architects Contract
1/21/25 Board of Supervisors Approves Engineers Contract

FINANCIAL IMPACT:

Determined by Competitive Bid Submissions

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☒ No ☐

RECOMMENDATION:

Motion to "Receive" LEC Demolition Competitive Bid Submissions

ACTION REQUIRED / PROPOSED MOTION:

Motion to "Receive" LEC Demolition (407 7th Street) Competitive Bid Submissions

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/03/2025 Weekly Agenda Date: 12/09/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Kenny Schmitz

WORDING FOR AGENDA ITEM:

"Award" LEC Demolition Project (407 7th St.) Contract to Lowest, Responsible, Responsive Bidder

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

Bid Submissions have been received for the LEC Demolition Project. Building Services requests consideration to "Award" the LEC Demolition Project Contract to Lowest, Responsive, Responsible Bidder

BACKGROUND:

12/02/25 Board of Supervisors Sets Dates, Times, Places to Receive & Award" Contract
12/02/25 Board of Supervisors Conducts Public Hearing
1/18/25 Board of Supervisors Sets Hearing Date/ Public Notice
11/18/25 Board of Supervisors Approves Form of Contract, Plans, & Specifications
9/02/25 Board of Supervisors Approves Architects Contract
1/21/25 Board of Supervisors Approves Engineers Contract

FINANCIAL IMPACT:

Determined by Competitive Bid Submissions

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☒ No ☐

RECOMMENDATION:

Motion to "Award" LEC Demolition Contract to Lowest, Responsive, Responsible Bidder & digitally execute contract if required

ACTION REQUIRED / PROPOSED MOTION:

Motion to "Award" the LEC Demolition Project to the lowest, responsive, responsible bidder & authorize parties to digitally execute contract if required

AIA® Document A101® – 2017

Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum

AGREEMENT made as of the Ninth day of December in the year Two Thousand Twenty-Five
(In words, indicate day, month and year.)

BETWEEN the Owner:
(Name, legal status, address and other information)

Woodbury County, Iowa
620 Douglas St.
Sioux City, IA 51101

and the Contractor:
(Name, legal status, address and other information)

To Be Determined (TBD)

for the following Project:
(Name, location and detailed description)

24230 Woodbury County Law Enforcement Center Demo
Demolition of existing building, removal of all debris, termination of existing utilities
and return of site to development ready.

The Architect:
(Name, legal status, address and other information)

Cannon Moss Brygger & Associates, P.C.
dba CMBA Architects
302 Jones St.
Suite 200
Sioux City, IA 51101

The Owner and Contractor agree as follows.

ADDITIONS AND DELETIONS:

The author of this document may have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

The parties should complete A101®–2017, Exhibit A, Insurance and Bonds, contemporaneously with this Agreement. AIA Document A201®–2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

TABLE OF ARTICLES

- 1 THE CONTRACT DOCUMENTS
- 2 THE WORK OF THIS CONTRACT
- 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- 4 CONTRACT SUM
- 5 PAYMENTS
- 6 DISPUTE RESOLUTION
- 7 TERMINATION OR SUSPENSION
- 8 MISCELLANEOUS PROVISIONS
- 9 ENUMERATION OF CONTRACT DOCUMENTS

EXHIBIT A INSURANCE AND BONDS

ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement, and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be:

(Check one of the following boxes.)

- ☒ [X] The date of this Agreement.
- ☐ [] A date set forth in a notice to proceed issued by the Owner.
- ☐ [] Established as follows:
(Insert a date or a means to determine the date of commencement of the Work.)

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of this Agreement.

§ 3.2 The Contract Time shall be measured from the date of commencement of the Work.

§ 3.3 Substantial Completion

§ 3.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Contractor shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

- ☐ [] Not later than () calendar days from the date of commencement of the Work.
- ☒ [X] By the following date: 03-31-2026

§ 3.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Contractor shall achieve Substantial Completion of such portions by the following dates:

Portion of Work	Substantial Completion Date
-----------------	-----------------------------

§ 3.3.3 If the Contractor fails to achieve Substantial Completion as provided in this Section 3.3, liquidated damages, if any, shall be assessed as set forth in Section 4.5.

ARTICLE 4 CONTRACT SUM

§ 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be (\$), subject to additions and deductions as provided in the Contract Documents.

§ 4.2 Alternates

§ 4.2.1 Alternates, if any, included in the Contract Sum:

Item	Price
------	-------

§ 4.2.2 Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Agreement. Upon acceptance, the Owner shall issue a Modification to this Agreement.
(Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance
------	-------	---------------------------

§ 4.3 Allowances, if any, included in the Contract Sum:
(Identify each allowance.)

Item	Price
------	-------

§ 4.4 Unit prices, if any:

(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
Cost for removal and replacement of unsuitable fill as determined by geotechnical engineer.	Cubic Yard	

§ 4.5 Liquidated damages, if any:

(Insert terms and conditions for liquidated damages, if any.)

§ 4.6 Other:

(Insert provisions for bonus or other incentives, if any, that might result in a change to the Contract Sum.)

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

§ 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the

month, or as follows:

§ 5.1.3 Provided that an Application for Payment is received by the Architect not later than the First day of a month, the Owner shall make payment of the amount certified to the Contractor not later than the Thirtieth day of the same month. If an Application for Payment is received by the Architect after the application date fixed above, payment of the amount certified shall be made by the Owner not later than Thirty (30) days after the Architect receives the Application for Payment.

(Federal, state or local laws may require payment within a certain period of time.)

§ 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form, and supported by such data to substantiate its accuracy, as the Architect may require. This schedule of values shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ 5.1.6 In accordance with AIA Document A201™-2017, General Conditions of the Contract for Construction, and subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

§ 5.1.6.1 The amount of each progress payment shall first include:

- .1 That portion of the Contract Sum properly allocable to completed Work;
- .2 That portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction, or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing; and
- .3 That portion of Construction Change Directives that the Architect determines, in the Architect's professional judgment, to be reasonably justified.

§ 5.1.6.2 The amount of each progress payment shall then be reduced by:

- .1 The aggregate of any amounts previously paid by the Owner;
- .2 The amount, if any, for Work that remains uncorrected and for which the Architect has previously withheld a Certificate for Payment as provided in Article 9 of AIA Document A201-2017;
- .3 Any amount for which the Contractor does not intend to pay a Subcontractor or material supplier, unless the Work has been performed by others the Contractor intends to pay;
- .4 For Work performed or defects discovered since the last payment application, any amount for which the Architect may withhold payment, or nullify a Certificate of Payment in whole or in part, as provided in Article 9 of AIA Document A201-2017; and
- .5 Retainage withheld pursuant to Section 5.1.7.

§ 5.1.7 Retainage

§ 5.1.7.1 For each progress payment made prior to Substantial Completion of the Work, the Owner may withhold the following amount, as retainage, from the payment otherwise due:

(Insert a percentage or amount to be withheld as retainage from each Application for Payment. The amount of retainage may be limited by governing law.)

Three Percent (3%)

§ 5.1.7.1.1 The following items are not subject to retainage:

(Insert any items not subject to the withholding of retainage, such as general conditions, insurance, etc.)

§ 5.1.7.2 Reduction or limitation of retainage, if any, shall be as follows:

(If the retainage established in Section 5.1.7.1 is to be modified prior to Substantial Completion of the entire Work, including modifications for Substantial Completion of portions of the Work as provided in Section 3.3.2, insert provisions for such modifications.)

§ 5.1.7.3 Except as set forth in this Section 5.1.7.3, upon Substantial Completion of the Work, the Contractor may submit an Application for Payment that includes the retainage withheld from prior Applications for Payment pursuant to this Section 5.1.7. The Application for Payment submitted at Substantial Completion shall not include retainage as follows: *(Insert any other conditions for release of retainage upon Substantial Completion.)*

§ 5.1.8 If final completion of the Work is materially delayed through no fault of the Contractor, the Owner shall pay the Contractor any additional amounts in accordance with Article 9 of AIA Document A201–2017.

§ 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 5.2 Final Payment

§ 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when

- .1** the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Article 12 of AIA Document A201–2017, and to satisfy other requirements, if any, which extend beyond final payment; and
- .2** a final Certificate for Payment has been issued by the Architect.

§ 5.2.2 The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

§ 5.3 Interest

Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

(Insert rate of interest agreed upon, if any.)

1.50 % monthly

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Initial Decision Maker

The Architect will serve as the Initial Decision Maker pursuant to Article 15 of AIA Document A201–2017, unless the parties appoint below another individual, not a party to this Agreement, to serve as the Initial Decision Maker.

(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

§ 6.2 Binding Dispute Resolution

For any Claim subject to, but not resolved by, mediation pursuant to Article 15 of AIA Document A201–2017, the method of binding dispute resolution shall be as follows:

(Check the appropriate box.)

☐ Arbitration pursuant to Section 15.4 of AIA Document A201–2017

☒ Litigation in a court of competent jurisdiction

☐ Other *(Specify)*

If the Owner and Contractor do not select a method of binding dispute resolution, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201–2017.

§ 7.1.1 If the Contract is terminated for the Owner's convenience in accordance with Article 14 of AIA Document A201-2017, then the Owner shall pay the Contractor a termination fee as follows:
(Insert the amount of, or method for determining, the fee, if any, payable to the Contractor following a termination for the Owner's convenience.)

Owner will pay only for work completed at the time of termination.

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201-2017.

ARTICLE 8 MISCELLANEOUS PROVISIONS

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A201-2017 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 The Owner's representative:
(Name, address, email address, and other information)

Kenny Schmitz, Director-Building Services
Woodbury County
401 8th St.
Sioux City, IA 51101
Email: kschmitz@woodburycountyiowa.gov

§ 8.3 The Contractor's representative:
(Name, address, email address, and other information)

TBD

§ 8.4 Neither the Owner's nor the Contractor's representative shall be changed without ten days' prior notice to the other party.

§ 8.5 Insurance and Bonds

§ 8.5.1 The Owner and the Contractor shall purchase and maintain insurance as set forth in AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum, Exhibit A, Insurance and Bonds, and elsewhere in the Contract Documents.

§ 8.5.2 The Contractor shall provide bonds as set forth in AIA Document A101™-2017 Exhibit A, and elsewhere in the Contract Documents.

§ 8.6 Notice in electronic format, pursuant to Article 1 of AIA Document A201-2017, may be given in accordance with a building information modeling exhibit, if completed, or as otherwise set forth below:

(If other than in accordance with a building information modeling exhibit, insert requirements for delivering notice in electronic format such as name, title, and email address of the recipient and whether and how the system will be required to generate a read receipt for the transmission.)

§ 8.7 Other provisions:

ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS

§ 9.1 This Agreement is comprised of the following documents:

- 1 AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor
- 2 AIA Document A101™-2017, Exhibit A, Insurance and Bonds
- 3 AIA Document A201™-2017, General Conditions of the Contract for Construction
- 4 Building information modeling exhibit, dated as indicated below:
(Insert the date of the building information modeling exhibit incorporated into this Agreement.)

.5 Drawings

Number	Title	Date
--------	-------	------

.6 Specifications

Section	Title	Date	Pages
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.7 Addenda, if any:

Number	Date	Pages
--------	------	-------

Portions of Addenda relating to bidding or proposal requirements are not part of the Contract Documents unless the bidding or proposal requirements are also enumerated in this Article 9.

.8 Other Exhibits:

(Check all boxes that apply and include appropriate information identifying the exhibit where required.)

☐ AIA Document E204™–2017, Sustainable Projects Exhibit, dated as indicated below:
(Insert the date of the E204-2017 incorporated into this Agreement.)

☐ The Sustainability Plan:

Title	Date	Pages
-------	------	-------

☒ Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
Section 00 73 00	Supplementary Conditions	10/31/2025	1

.9 Other documents, if any, listed below:

(List here any additional documents that are intended to form part of the Contract Documents. AIA Document A201™–2017 provides that the advertisement or invitation to bid, Instructions to Bidders, sample forms, the Contractor's bid or proposal, portions of Addenda relating to bidding or proposal requirements, and other information furnished by the Owner in anticipation of receiving bids or proposals, are not part of the Contract Documents unless enumerated in this Agreement. Any such documents should be listed here only if intended to be part of the Contract Documents.)

This Agreement entered into as of the day and year first written above.

OWNER (Signature)

BY: Daniel Bittinger II, Chairperson

(Printed name and title)

CONTRACTOR (Signature)

(Printed name and title)

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/3/25

Weekly Agenda Date: 12/9/25 4:40

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Daniel J. Priestley

WORDING FOR AGENDA ITEM:

- a. Receive the final report and recommendation from the Zoning Commission following their 11/24/25, meeting to approve a Zoning Ordinance Map Amendment (Rezoning) from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District on Parcel #874624200011 for Doug Skinner (Skinner Holdings LLC).
- b. Conduct the First Public Hearing on the said proposed Zoning Ordinance Map Amendment (Rezoning) from AP to AE on Parcel #874624200011.
- c. Approve the First Reading of the said Zoning Ordinance Map Amendment (Rezoning) from AP to AE on Parcel #874624200011.

ACTION REQUIRED:

Approve Ordinance ☒

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☒

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

The Board of Supervisors will hold a public hearing to consider a proposed Zoning Ordinance Map Amendment to rezone a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #874624200011.

Following the public hearing, the Board may defer consideration of the proposal; or reject the proposal; or proceed to adopt an ordinance approving the amendment to the zoning district map.

A 60% majority of the Board of Supervisors shall be required to adopt the proposed amendment of the zoning district map if the owners of more than 20% of either, (a) the area of the subject property or (b) the area of real property lying within 500 feet of the subject property file a written objection prior to the conclusion of the public hearing.

The Board of Supervisors may impose restrictive conditions upon the approval of an amendment to the zoning district map if, before the conclusion of the public hearing, the owner agrees to the conditions in writing.

BACKGROUND:

Doug Skinner (Skinner Holdings LLC) has submitted two related applications for a 36.50-acre portion of GIS Parcel #874624200011: a minor subdivision for a development to be called "252nd Overlook," and a Zoning Ordinance Map Amendment to rezone the same property from Agricultural Preservation (AP) to Agricultural Estates (AE). The property is located in the SE1/4 of the NW1/4, NE1/4 of the SW1/4, and NW1/4 of the SE1/4 of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, and is located at 2374 252nd St., Hornick, IA 51026. It lies approximately seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. The rezoning from AP to AE is requested to permit future development of the lots created by the proposed subdivision and to satisfy Section 3.01.1 B of the Woodbury County Zoning Ordinance. Notices and reviews for these applications have been completed: a legal notice ran in the Sioux City Journal on November 13, 2025 for the Zoning Commission public hearing and will run on December 4, 2025 for the Board of Supervisors public hearings; property owners within 1,000 feet received mailed notice on November 10, 2025 of the Zoning Commission public hearing scheduled for November 24, 2025; and relevant government agencies, utilities, and other stakeholders were notified and asked to comment. The Woodbury County Engineer reviewed the proposal, found it compliant with Iowa Code closure requirements, and advised that the property owner must coordinate with the engineer's office for any future access or modifications to existing access that require permits. The property is currently located in the AP zoning district and is not in the floodplain. The Zoning Commission's recommendations on both the rezoning and the minor subdivision, along with draft minutes from the November 24, 2025 meeting, are included on the following pages. Comments received from the public as of the distribution of this packet are included in the subsequent pages of this report.

PROPERTY DETAILS

Parcel(s): 874624200011

Township/Range: T87N R46W

Section: 24

Quarter: Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Zoning District: AP

Floodplain: Zone X

Property Address: 2374 252nd St., Hornick, IA 51026

FINANCIAL IMPACT:

0

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☐

RECOMMENDATION:

Receive final report and Zoning Commission recommendation from their 11/24/25 meeting.

Open and close the public hearing. (Set Time: 4:40 PM)

Conduct and approve the first reading of the Zoning Ordinance Map Amendment (Rezone).

The 2nd and 3rd public hearings and readings of the ordinance have been scheduled for Tuesday, 12/16/25 at 4:40 PM, and Tuesday, 12/23/25 at 4:40 PM, respectively.

ACTION REQUIRED / PROPOSED MOTION:

a. Receive the final report and recommendation from the Zoning Commission following their 11/24/25, meeting to approve a Zoning Ordinance Map Amendment (Rezone) from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District on Parcel #874624200011 for Doug Skinner (Skinner Holdings LLC).

b. Conduct the First Public Hearing on the said proposed Zoning Ordinance Map Amendment (Rezone) from AP to AE on Parcel #874624200011.

c. Approve the First Reading of the said Zoning Ordinance Map Amendment (Rezone) from AP to AE on Parcel #874624200011.

**NOTICE REGARDING PUBLIC
HEARINGS BEFORE THE
WOODBURY COUNTY BOARD OF
SUPERVISORS FOR A ZONING
ORDINANCE MAP AMENDMENT
(REZONE) FROM THE
AGRICULTURAL PRESERVATION
(AP) ZONING DISTRICT TO THE
AGRICULTURAL ESTATES (AE)
ZONING DISTRICT**

The Woodbury County Board of Supervisors will conduct public hearings and ordinance readings to consider the proposed zoning ordinance map amendment (rezone), as detailed below, on Tuesday, December 9, 2025, at 4:40 PM; Tuesday, December 16, 2025, at 4:40 PM; and Tuesday, December 23, 2025, at 4:40 PM, or as soon thereafter as the matter may be heard. Pursuant to Iowa Code Section 331.302, the Board of Supervisors may waive the second and third hearings and readings if deemed appropriate.

These hearings and ordinance readings will take place in the Board of Supervisors' meeting room, located in the basement of the Woodbury County Courthouse, 620 Douglas Street, Sioux City, Iowa. Interested individuals may attend in person to provide comments.

Copies of the proposed amendments are available for public inspection at the Woodbury County Auditor's Office, Woodbury County Courthouse, 620 Douglas Street, Sioux City, Iowa during normal business hours of Monday through Friday, 8:00 AM to 4:30 PM. If adopted, the ordinance will become effective upon publication of this summary or the complete text of the ordinance following final passage by the Board of Supervisors, unless a subsequent effective date is specified in the ordinance.

Written comments may be submitted by mail or email to: Woodbury County Community and Economic Development, 6th Floor, Woodbury County Courthouse, 620 Douglas St., Sioux City, IA 51101, or to Daniel Priestley at dpriestley@woodburycountyia.gov. For inquiries, contact Daniel Priestley at 712-279-6609.

All individuals wishing to provide input are encouraged to attend and participate in the scheduled hearing(s).

CONSIDERATION OF A ZONING ORDINANCE MAP AMENDMENT (REZONE) FROM THE AGRICULTURAL PRESERVATION (AP) ZONING DISTRICT TO THE AGRICULTURAL ESTATES (AE) ZONING DISTRICT

TITLE: A ZONING DISTRICT DESIGNATION MAPPING AMENDMENT TO THE WOODBURY COUNTY, IOWA ZONING ORDINANCE

Pursuant to Section 335 of the Code of Iowa, the Woodbury County Board of Supervisors will hold public hearings and ordinance readings to consider the application for a zoning ordinance map amendment (rezone) to the Woodbury County Zoning Ordinance and/or Map for the Unincorporated Area of Woodbury County Iowa by Doug Skinner of Skinner Holdings LLC, 300 Centennial Dr. Ste. 295, North Sioux City, SD 57049.

The proposal is to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #674624200011 and is described as:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 28°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North

02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

Petitioner Applicant(s): Doug Skinner, 940 Quail Hollow Circle, Dakota Dunes, SD 57049.

This zoning ordinance map amendment does not impose any new fines, penalties, forfeitures, fees, or taxes beyond those already in the existing zoning ordinance.

GCL-IA-502592

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**

ORDINANCE NO. ____

**A ZONING DISTRICT DESIGNATION MAPPING AMENDMENT
TO THE WOODBURY COUNTY, IOWA ZONING ORDINANCE**

WHEREAS the Board of Supervisors of Woodbury County, Iowa, adopted a Zoning Ordinance on July 22, 2008, by Resolution No. 10,455 being recorded in the Office of the Woodbury County Recorder, and

WHEREAS the Woodbury County Board of Supervisors has received a report in respect to amending the said Ordinance from the Woodbury County Zoning Commission which held a public hearing on the amendment; all as by law provided. Which the amendment is attached hereto marked item One (1), and hereby made a part hereof; and

WHEREAS the Woodbury County Board of Supervisors has received said report, studied and considered the same, and has held hearings on said amendment, all as by law provided; and

WHEREAS the Woodbury County Board of Supervisors has concluded that the said ordinance shall amend the aforesaid Zoning Ordinance;

NOW THEREFORE, BE IT RESOLVED by the Woodbury County Board of Supervisors, duly assembled, that the aforesaid Zoning District is amended as shown on said attached item One (1); and the previous zoning district designation shall be repealed upon the effective date of this amendment.

Dated this ____ day of _____, 2025.

THE WOODBURY COUNTY, IOWA BOARD OF SUPERVISORS

Daniel Bittinger II, Chairman

Mark Nelson, Vice-Chairman

Kent Carper

Attest:

David Dietrich

Michelle K. Skaff, Woodbury County Auditor

Matthew Ung

Adoption Timeline:

Date of Public Hearing and First Reading _____

Date of Public Hearing and Second Reading _____

Date of Public Hearing and Third Reading _____

Date of Adoption _____

Published/Effective Date _____

ITEM ONE (1)

Property Owner(s): Doug Skinner of Skinner Holdings LLC, 300 Centennial Dr. Ste. 295, North Sioux City, SD 57049

Petitioner Applicant(s): Doug Skinner, 940 Quail Hollow Circle, Dakota Dunes, SD 57049

Pursuant to Section 2.02:4 of the Woodbury County Zoning Ordinance, and in accordance with Section 335 of the Code of Iowa, the Woodbury County Zoning Commission held a public hearing on **November 24, 2025**, to review and make a recommendation for amendments to the Woodbury County Zoning Ordinance and Mapping for the unincorporated area of Woodbury County, Iowa as follows:

Amendment to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #874624200011 and is described as:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 26°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North 02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**



WOODBURY COUNTY PLANNING & ZONING

620 Douglas Street, Sixth Floor, Sioux City, Iowa 51101

712.279.6609 – 712.279.6530 (Fax)

Daniel J. Priestley, MPA – Zoning Coordinator
dpriestley@woodburycountyiowa.gov

Dawn Norton – Senior Clerk
dnorton@woodburycountyiowa.gov

REPORT FOLLOWING ZONING COMMISSION MEETING AND RECOMMENDATION (POST NOVEMBER 24, 2025)

ZONING ORDINANCE MAP AMENDMENT PROPOSAL AND

252 OVERLOOK – MINOR SUBDIVISION PROPOSAL

APPLICATION DETAILS	
Applicant(s)/Owner(s):	Doug Skinner of Skinner Holdings LLC
Application Type(s):	Minor Subdivision and Zoning Ordinance Map Amendment
Name of Subdivision:	252 nd Overlook
Application Date:	11/4/25
Number of Lots:	5
Total Acres:	36.50
Extraterritorial Review:	None
Legal Notice Date:	November 13, 2025
Neighbor(s) Notice Date:	November 10, 2025
Stakeholder(s) Notice Date:	November 6 and November 12
Zoning Commission Public Hearing Date:	November 24
Board of Supervisors Agenda Date:	December 9, 16, 23
Attorney:	Alex Bernstein – 712-389-4302
Surveyor:	Dave Lamberton – 712-203-1323

PROPERTY DETAILS	
Parcel(s):	874624200011
Township/Range:	T87N R46W
Section:	24
Quarter:	Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:
Zoning District:	AP
Floodplain:	Zone X
Property Address:	2374 252nd St., Hornick, IA 51026

CONTENTS	
SUMMARY, AERIAL MAP, PLAT EXCERPT	
APPLICATIONS	
FINAL PLAT / ZONING ORDINANCE MAP AMENDMENT	
REVIEW CRITERIA	
PUBLIC NOTIFICATION, STAKEHOLDER INPUT	
SUPPORTING DOCUMENTATION	

DESCRIPTION:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

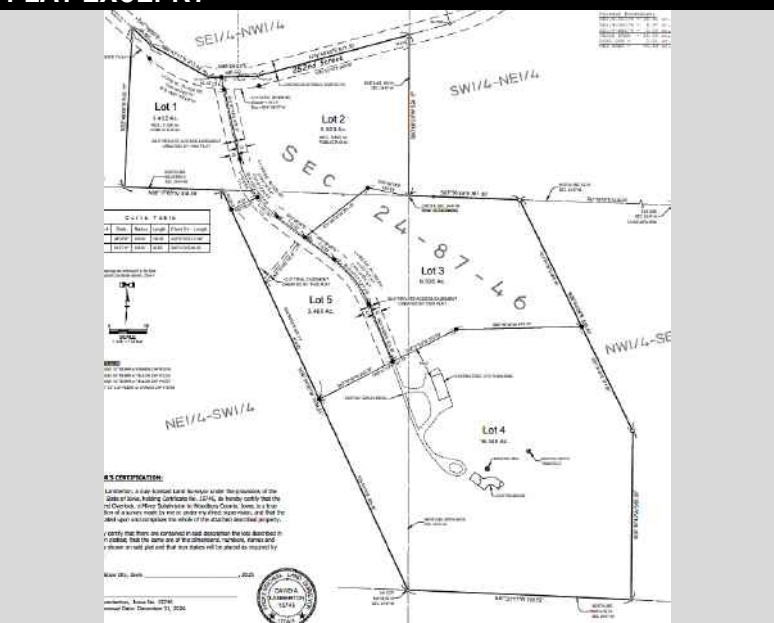
Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 26°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North 02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

SUMMARY

Doug Skinner (Skinner Holdings LLC) has submitted two related applications for a 36.50-acre portion of GIS Parcel #874624200011: a minor subdivision for a development to be called "252nd Overlook," and a Zoning Ordinance Map Amendment to rezone the same property from Agricultural Preservation (AP) to Agricultural Estates (AE). The property is located in the SE1/4 of the NW1/4, NE1/4 of the SW1/4, and NW1/4 of the SE1/4 of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, and is located at 2374 252nd St., Hornick, IA 51026. It lies approximately seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. The rezoning from AP to AE is requested to permit future development of the lots created by the proposed subdivision and to satisfy Section 3.01.1 B of the Woodbury County Zoning Ordinance. Notices and reviews for these applications have been completed: a legal notice ran in the Sioux City Journal on November 13, 2025 for the Zoning Commission public hearing and will run on December 4, 2025 for the Board of Supervisors public hearings; property owners within 1,000 feet received mailed notice on November 10, 2025 of the Zoning Commission public hearing scheduled for November 24, 2025; and relevant government agencies, utilities, and other stakeholders were notified and asked to comment. The Woodbury County Engineer reviewed the proposal, found it compliant with Iowa Code closure requirements, and advised that the property owner must coordinate with the engineer's office for any future access or modifications to existing access that require permits. The property is currently located in the AP zoning district and is not in the floodplain. The Zoning Commission's recommendations on both the rezoning and the minor subdivision, along with draft minutes from the November 24, 2025 meeting, are included on the following pages. Comments received from the public as of the distribution of this packet are included in the subsequent pages of this report.

AERIAL MAP

PLAT EXCERPT



ZONING ORDINANCE MAP AMENDMENT RECOMMENDATION



WOODBURY COUNTY ZONING COMMISSION

WOODBURY COUNTY COURTHOUSE
620 DOUGLAS STREET
SIOUX CITY, IA 51101

To: Woodbury County Board of Supervisors
620 Douglas Street
Sioux City, Iowa 51101

From: Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

Subject: Recommendation on Proposed Zoning Ordinance Map Amendment (Rezone)
from Agricultural Preservation (AP) to Agricultural Estates (AE) on Parcel
#874624200011 (2374 252nd Street, Hornick, IA 51026)

Dear Board of Supervisors:

On November 24, 2025, the Woodbury County Zoning Commission held a public hearing to consider the application from Doug Skinner of Skinner Holdings, LLC for a zoning ordinance map amendment to rezone a 36.50-acre portion of Parcel #874624200011 from Agricultural Preservation (AP) to Agricultural Estates (AE). The property is located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87N, Range 46W, approximately seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and south of 252nd Street. This rezone is to accommodate potential lot development per Section 3.01.1.B of the Zoning Ordinance and is associated with the concurrent 252nd Overlook minor subdivision application.

Zoning Coordinator Dan Priestley presented the staff report, noting the proposal meets basic requirements contingent on hearing input. An updated draft ordinance correcting the acreage to 36.50 was received into the record by unanimous motion. Discussions overlapped with the subdivision hearing, focusing on AP vs. AE differences (e.g., density allowing more than two homes per quarter-quarter, reduced setbacks from 100 to 75 feet, similar agricultural uses but restrictions on some commercial activities).

Applicant Doug Skinner reiterated the compromise restriction to three additional homes, with no immediate plans for development.


Public comments continued from the subdivision hearing, with the same attendees opposing for reasons including Loess Hills preservation, environmental fragility, road maintenance, rural character per the 2040 Comprehensive Plan, dairy proximity, and potential tax/service strains. Staff clarified that AE is appropriate for multi-lot subdivisions and explained the similarities and differences between AP and AE zoning districts.

Following the public hearing, a motion was made to recommend the rezone to the Board of Supervisors using the updated draft with the restriction of no more than three additional homes, which was seconded and passed (4-0-1 abstention).

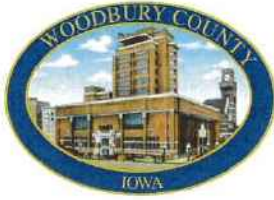
The Zoning Commission recommends that the Board of Supervisors approve the rezone from AP to AE with the condition restricting development to no more than three additional homes.

Please refer to the draft copy of the Zoning Commission minutes for details about the Commission's recommendation(s).

Dated this 15 day of Dec-, 2025.


Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

MINOR SUBDIVISION RECOMMENDATION



WOODBURY COUNTY ZONING COMMISSION

WOODBURY COUNTY COURTHOUSE
620 DOUGLAS STREET
SIOUX CITY, IA 51101

To: Woodbury County Board of Supervisors
620 Douglas Street
Sioux City, Iowa 51101

From: Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

Subject: Recommendation on Proposed 252nd Overlook Minor Subdivision (Five Lots) on Parcel #874624200011 (2374 252nd Street, Hornick, IA 51026)

Dear Board of Supervisors:

On November 24, 2025, the Woodbury County Zoning Commission held a public hearing to consider the application from Doug Skinner of Skinner Holdings, LLC for a five-lot minor subdivision known as 252nd Overlook on a 36.50-acre portion of Parcel #874624200011. The property is located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87N, Range 46W, approximately seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and south of 252nd Street. The property is currently zoned Agricultural Preservation (AP) and is not in a floodplain. This application is associated with a concurrent rezone request from AP to Agricultural Estates (AE) to accommodate potential development.

Zoning Coordinator Dan Priestley presented the staff report, noting compliance with Iowa Code closure requirements per the Woodbury County Engineer, who advised coordination for access permits. Neighbors within 1,000 feet were notified on November 10, 2025, and the proposal was published in the Sioux City Journal on November 13, 2025. Stakeholders were notified. Post-packet, additional information was received, including County Engineer Laura Sievers' memo correcting a plat dimension to 754.64 feet (from 757.63). A motion to receive this memo and associate the correction with the final plat passed unanimously. Public comments received prior to the hearing (e.g., from Reverend Jim Thomas Jr., a citizen petition with 35-40 signatures led by Gary McMullen, Richard Pope, Seth Brooks of Golden Hills RC&D, and Gary and Darlin McMullen) were read and received into the record by unanimous motion. These expressed opposition based on preserving Loess Hills scenic views, rural character, fragile soils, erosion risks, road maintenance, traffic, tax increases, and strain on services.

Applicant Doug Skinner and Brenton Feuchtenberger presented, addressing perceived misinformation in the petition (e.g., minimal tax and road impacts, property rights, no dense development planned). They provided handouts (maps and explanations), which were received into the record by unanimous motion. Skinner emphasized a compromise limiting development to three additional homes (beyond the existing one), aligning with AP density limits, with no immediate building plans.

Numerous public attendees spoke in opposition. Themes included Loess Hills preservation (ecology, erosion, prairie remnant), road conditions and traffic, rural character, dairy odors, watershed impacts, and viewshed from the National Scenic Byway. Questions addressed AP vs. AE differences (density, setbacks, uses), restrictions (single-family only), and process. Staff clarified ordinance details, including AE for more than two parcels per quarter-quarter.

Following the public hearing, a motion was made to recommend approval of the subdivision to the Board of Supervisors using the updated draft, including the corrected dimension (754.64 feet) and restriction of no more than three additional homes, which was seconded and passed (4-0-1 abstention).

The Zoning Commission recommends that the Board of Supervisors approve the 252nd Overlook minor subdivision with the conditions of the corrected plat dimension (754.64 feet) and restriction limiting development to no more than three additional homes.

Please refer to the draft copy of the Zoning Commission minutes for details about the Commission's recommendation(s).

Dated this 1st day of Dec, 2025.


Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

Woodbury County Zoning Commission Meeting Minutes

Date: November 24, 2025

Time: 5:00 PM

Location: Board of Supervisors' Meeting Room, Basement, Woodbury County Courthouse, 620 Douglas Street, Sioux City, IA

MEETING AUDIO:

For specific content of this meeting, refer to the recorded video on the Woodbury County Zoning Commission "Committee Page" on the Woodbury County website:

- County Website Link:
 - o https://www.woodburycountyiowa.gov/committees/zoning_commission/
- YouTube Direct Link:
 - o <https://www.youtube.com/watch?v=E2lrRoiGx6w>

Attendees

- **Commissioners Present:** Chris Zellmer Zant – Chair, Tom Bride, Steve Corey, Jeff Hanson, Corey Meister
- **Staff Present:** Dan Priestley – Zoning Coordinator, Dawn Norton – Senior Clerk
- **Supervisors Present:** Kent Carper, David Dietrich
- **Public Attendees:** Gary Haruan, Cindy Foix, Leo Lidgett, Gary McMullen, Darlynn McMullen, Susan Chapman, Chad Brady, Lisa Brosamle, David Brosamle, Jim Thomas, Amiee Krogh, Deborah Sulsberger, Glenna Tevis, Bonnie Brosamle, Linda Arnolt, Roger Lorenzen, Mike Mooney, Rich Pope, Amy Sulsberger, Chuck Sattler, Jason Yockey, Doug Miller, Chris Kennedy, Keith Pease, Doug Skinner, Brenton Feuchtenberger

Call to Order

The Woodbury County Zoning Commission meeting was called to order by Chair Christine Zellmer Zant at approximately 5:00 PM on November 24, 2025. The Chair noted that the meeting would be audio taped, and minutes prepared for all parties. Attendees were asked to turn off cell phones or set them to vibrate and to complete the attendance sheet. The Chair reviewed the Commission's procedures for the meeting, including handling of agenda items, public hearings, staff reports, applicant presentations, public comments (requiring speakers to state name and address at the microphone, avoid repetitious comments, and remain respectful), closing statements, closing of hearings by motion and vote, deliberation, and disclosure of any ex-parte communications prior to deliberation.

Roll Call

Chair Christine Zellmer Zant conducted a roll call, noting that Commissioners Christine Zellmer Zant, Tom Bride, Jeff Hanson, Corey Meister, and Steve Corey were present.

Public Comment on Matters Not on the Agenda

No public comments were received on matters not listed on the agenda, either in person or via phone.

Approval of Previous Meeting Minutes

The Commission reviewed the minutes from the previous meeting (September 22, 2025). No corrections or additions were noted. Commissioner Jeff Hanson made a motion to approve the minutes as presented, which was seconded by Commissioner Tom Bride. The motion passed unanimously with all Commissioners present voting "aye." (5-0)

Public Hearing: Consideration of Proposed Brosamle Addition Minor Subdivision (Two Lots) Application on Parcels #884501200002, # 884501200004, 884501200005, and #884501200006 from Brosamle Farms, LLC (Action Item)

Chair Zellmer Zant opened the public hearing.

Zoning Coordinator Dan Priestley presented the staff report. Brosamle Farms, LLC submitted an application for a two-lot minor subdivision named Brosamle Addition, dividing 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The properties are in Section 1, Township 88N, Range 45W (Moville Township), Government Lots 5, 6, 7, and 8, zoned Agricultural Preservation (AP). Located two miles southeast of Moville, south of 160th Street and west of Ida Avenue. The proposal was noticed in the Sioux City Journal on November 13, 2025, and neighbors within 1,000 feet were notified by letter on November 10, 2025. Stakeholders, including government agencies and utilities, were notified. The Woodbury County Engineer confirmed compliance with Iowa Code closure requirements and advised coordination for access permits. The property is not in a floodplain. The City of Moville waived review via Council Resolution 2025-14. The proposal meets basic approval criteria. After packet printing, neighbor David Brosamle (1625 Ida Avenue) verbally expressed no objections.

Applicant representative David Brosamle spoke, stating his name and address for the record. He explained he owns one-fifth of the land and seeks to purchase the rest from the LLC for continued pasture use since the 1970s, raising cattle, with no plans for housing development. He noted existing road access and thanked staff for assistance.

No other public comments were received.

Commissioners had no questions. Priestley confirmed the verbal comment from David Brosamle was entered into the record.

Commissioner Tom Bride made a motion to close the public hearing. Corey Meister seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Commissioner Jeff Hanson made a motion to recommend approval of the plat as submitted to the Board of Supervisors. Commissioner Steve Corey seconded. No further discussion. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Priestley explained next steps: The plat goes to the Board of Supervisors for final approval, requiring signatures from county departments and stakeholders, then recording in the Recorder's Office if approved.

**Public Hearing: Consideration of Proposed 252nd Overlook Minor Subdivision (Five Lots)
Application on Parcel #874624200011 (2374 252nd, Hornick, IA 51026) from Doug Skinner of
Skinner Holdings, LLC (Action Item)**

Chair Zellmer Zant opened the public hearing,

Priestley presented the staff report noting this item is associated with the subsequent rezone application (from AP to AE) and they would be discussed together but voted on separately. Doug Skinner of Skinner Holdings, LLC applied for a five-lot minor subdivision named 252nd Overlook on a 36.50-acre portion in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87N, Range 46W. GIS Parcel #874624200011, at 2374 252nd Street, Hornick, IA, seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, south of 252nd Street. Currently zoned AP, not in floodplain. Noticed in Sioux City Journal on November 13, 2025; neighbors notified November 10, 2025. Stakeholders notified. County Engineer confirmed Iowa Code compliance, advised access coordination. Proposals meet basic requirements contingent on hearing input.

Priestley noted additional information received post-packet: County Engineer Laura Sievers' memo with a correction (754.64 feet on the plat, not 757.63). Commissioner Tom Bride made a motion to receive the memo into the record and associate the corrected number with the final plat. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Priestley read and requested receipt of public comments into the record:

- Reverend Jim Thomas Jr. (November 20, 2025): Opposes rezone/subdivision, citing blocked scenic views of Loess Hills, privatization, altering rural character; urges denial to preserve appeal.
- Citizen petition by Gary McMullen (November 21, 2025, 35-40 signatures): Opposes, citing inadequate gravel roads, reduced Loess Hills enjoyment, potential tax hikes, strain on services, fragile soil risks; included map.
- Richard Pope (November 21, 2025): Opposes due to Loess Hills soil (low CSR, steep slopes, erosion-prone), part of Iowa's largest prairie remnant; recommends denying to preserve non-crop values.
- Seth Brooks (on behalf of Loess Hills National Scenic Byway, via Golden Hills RC&D, November 21, 2025): Urges evaluation for impacts on Loess Hills National Scenic Byway, ecology, viewshed; stresses responsible decisions.
- Gary and Darlynn McMullen (November 21, 2025): Strongly oppose; preserve unique Loess Hills for public enjoyment (visible from byway); warn of road deterioration with traffic.

Commissioner Cory Meister made a motion to receive all documents (names, petition, letters, emails) into the record. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Applicant Doug Skinner (Skinner Holdings, LLC) and Brenton Feuchtenberger presented. Skinner addressed what he called misinformation in the petition: Minimal financial impact on distant residents; only McMullens within 1,000 feet; three homes won't materially impact steep/windy 252nd Street or Highway 141 (no engineer report supports otherwise); "limit development" means "no development"; tax increases misstated (AE vs. AP taxation differs, precedent for AE nearby); three homes won't affect watershed/aquifer; increases safety via more residents; no county services strain; hypocrisy in petitioner's 2004 home build. Emphasized property rights over emotion/opinion.

Feuchtenberger provided handouts (maps, explanations). Commissioner Tom Bride made a motion to receive handouts into the record. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Feuchtenberger explained backstory: Purchased 290 acres over two years (highlighted in red on map), seeking to buy remaining land excluding existing home (#4). Minor subdivision/rezone required; not intending dense development (e.g., Whispering Creek); could create 12-14 lots but proposing five (one unbuildable); follows quarter-quarter lines, congruent with AP spirit (two homes per 40 acres); access (Xs on map) for hunting; no immediate home-building plans; compromise limits future density; AP allows similar without rezone via road splits/natural boundaries.

Public comments (opposition focused on preserving Loess Hills, environmental fragility, road maintenance/traffic, rural character, dairy proximity odors, watershed/erosion, increased services strain, tax impacts, scenic byway views):

- Gary McMullen: Lives across opposes due to unique landscape preservation, visible from byway; road deterioration; resentment. Existing house driveway would drive through hunting area, safety issue.
- Cindy Foix: Opposes: fragile ecosystem, erosion risks; questions access/maintenance; preserve for future generations. Question if proposed easement with 3 additional lots would remain AP. Concerns of hunting lodge or condos being allowed.
- Leo Lidgett: Opposes: Loess Hills rarity, erosion-prone; development threatens; references past protections.
- Susan Chapman: Opposes; preserve views/character; road safety concerns post-rain.
- Chad Brady: Opposes; environmental impact, soil fragility; alternatives exist elsewhere.
- Jim Thomas: Opposes; blocks public views, privatizes; deny to preserve appeal.

- Amiee Krogh: Opposes; Loess Hills conservation priority; development risks.
- Supervisor Dietrich: Shotgun or rifle hunting may be issue, bow not as much; sees both sides. Recommended Board of Supervisors visit site.
- Deborah Sulsberger: Opposes; steep roads unsuitable for more traffic; preserve natural state.
- Darlynn McMullen: Stated rumor that 10 homes would be built.
- Doug Miller: Questioned as to why not just buy it instead of doing subdivision.
- Glenna Tevis: Questions restrictions (single-family only? No condos/lodges?); dairy odor concerns. Priestley clarified: AE allows single-family dwellings; multi-family prohibited/conditional; hunting lodges not enumerated but hospitality uses restricted.
- Linda Arnolt: Opposes; maintain sparse areas per 2040 plan; soil conservation recommends AP; dairy complaints; road calls to engineer.
- Roger Lorenzen: Opposes; road conditions after rain; adds gravel miles.
- Mike Mooney: Opposes; environmental devastation risks.
- Rich Pope: Praises handling fragile Loess Hills issues; population growth vs. environment; questions AP to AE advantage (density, setbacks differ; AE for multi-lots per ordinance). Priestley explained: AE for >2 parcels per quarter-quarter; setbacks 75 ft vs. 100 ft; uses mostly similar, density key. Once area is lost, it's gone.
- Amy Sulsberger: Opposes; preserve prairie remnant.
- Chuck Sattler: Opposes; road maintenance strain.
- Jason Yockey: Questions order (rezone before subdivide?); could approve subdivision but deny rezone, limiting builds. Priestley: Possible to delay rezone; triggers at building permit if >2 homes.
- Jim Thomas: Opposes; dairy proximity clarification (2-3 miles, valley/road separation). Keep sparse areas sparse.
- Chris Kennedy: Opposes; watershed impacts.
- Keith Pease: Questions practical AP vs. AE differences with restrictions (density control; some AP commercial uses prohibited in AE). Priestley displayed ordinance table online, explaining uses (agriculture identical; residential density differs; some commercial restricted in AE).
- Commissioner Bride commented on property rights, not high density project.
- Commissioner Zant also spoke of property rights; conservation.
- Commissioner Steve Corey commented on landowner rights, easement approves of easement compromise.

Skinner reiterated compromise: Restriction limits to three additional homes max, aligning with AP; no current build plans.

Commissioner Tom Bride commented: Beneficial intent; AP already allows worse scenarios.
Commissioner Steve Corey offered site visit with supervisors.

Commissioner Tom Bride made a motion to close the public hearing. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Commissioner Jeff Hason announced that he would be abstaining for voting on the two agenda items from Doug Skinner due to non-financial conflicts of interest.

Commissioner Tom Bride made a motion to recommend approval of the subdivision to the Board of Supervisors, using the updated draft including the correct dimension form the county engineer with restriction of no more than three additional homes. Commissioner Steve Corey seconded. The motion passed by voice vote (ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson).

**Public Hearing: Consideration of Proposed Zoning Ordinance Map Amendment (Rezone)
Application from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE)
Zoning District on Parcel #874624200011 from Doug Skinner of Skinner Holdings, LLC (2374
252nd, Hornick, IA 51026) (Action Item)**

Chair Zellmer Zant opened the public hearing. (Discussions overlapped with prior item but focused on rezone specifics: AP vs. AE differences, density, uses.)

Priestley reiterated: Rezone for 36.50 acres to accommodate lots per Section 3.01.1.B; meets requirements contingent on input.

Priestley asked the Commission to receive an updated draft of the Zoning Ordinance Map Amendment Rezone ordinance language into the record to correct the acres to 36.50 acres. Commissioner Steve Corey made a motion to receive the updated draft of the rezone ordinance. Commissioner Tom Bride seconded the motion. The motion passed by voice vote ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.

Public comments continued from prior hearing, emphasizing opposition to rezone for same reasons (preservation, etc.). Additional clarifications on AP (agricultural focus, 2 homes/quarter-quarter) vs. AE (allows more density but with restrictions; some uses prohibited).

Commissioner questions: Practical differences with restriction (minimal; density key); ordinance nuances (farmer exemptions, building permits).

Commissioner Steve Corey made a motion to close the public hearing. Commissioner Corey Meister seconded. The motion passed unanimously by voice vote. ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.

Commissioner Bride made a motion to recommend the rezone to the Board of Supervisors, using the updated draft with restriction of no more than three additional homes. Commissioner Steve Corey seconded. No further discussion. The motion passed by voice vote (ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.)

Public Comment on Matters Not on the Agenda

No additional public comments were received on matters not listed on the agenda, either in person or via phone.

Staff Update

Priestley updated: Zoning Commission/Board of Adjustment applications open, deadline December 1, 2025. New state law requires training (~1.5 hours) for new members (ex-parte, public engagement); existing members grandfathered. Exploring in-house compliance system; applies to Supervisors too. Brosamle item to Supervisors sooner (no rezone); Skinner items on December 9, 16, or 23, 2025.

Commissioner Comment or Inquiry

No Commissioners offered additional comments or inquiries.

Adjournment

Commissioner Corey Meister moved to adjourn the meeting, seconded by Commissioner Steve Corey. The motion passed unanimously with all Commissioners present voting "aye." (5-0) The meeting adjourned at approximately 7:49 PM.

Appendix

Received Materials on subsequent pages.

- County Engineer's Review Memo making a change to the final plat to 754.64 feet.
- Written comments from citizens.
- Map from Brenton Feuchtenberger
- Updated draft of the Zoning Ordinance Map Amendment



Woodbury County Secondary Roads Department

759 E. Frontage Road · Moline, Iowa 51039

Telephone (712) 279-6484 · (712) 873-3215 · Fax (712) 873-3235

To: Dan Priestley, Woodbury County Zoning Coordinator
From: Laura Sievers, PE, Woodbury County Engineer
Date: November 19, 2025
Subject: 252nd Overlook – Minor Subdivision.

The Secondary Roads Department has completed its review of the 252nd Overlook Minor Subdivision. The plat closure appears to be in compliance with Section 355.8 of the Code of Iowa. Please note that the measured distance of **757.63'** **should be revised to 757.64'**.

The plat does not identify any proposed new entrance or access locations to the County road system. If new access points are intended, the developer and any future landowner will need to coordinate with the County Engineer's Office to ensure adequate sight distance and to obtain the required entrance permit. Any modifications to the existing entrance will also require a permit and must meet current entrance standards.

PUBLIC COMMENTS SUMMARY (as of 11/24/25 at 9:40 AM CT)

Jim Thomas (Reverend James G. Thomas Jr.), November 20, 2025, 5:25 PM

Jim Thomas, a pastor living across the valley, opposes rezoning Parcel #87462420001 from AP to AE, arguing it would block public scenic views of Woodbury County and the Loess Hills, privatizing them for new lot owners and altering the rural character into subdivision-like development. He urges denial to preserve the area's appeal despite potential tax benefits, and plans to attend the meeting for more points.

Citizen Petition (Circulated by Gary McMullen), November 21, 2025, 9:00 AM

A petition with ~35-40 signatures from nearby residents opposes the 252nd Overlook five-lot subdivision and AP-to-AE rezone for Parcel #87462420001, citing inadequate gravel roads for increased traffic, reduced Loess Hills enjoyment for locals and Byway travelers, potential tax hikes from rising property values, strain on county services, and risks to the fragile soil. It includes a property map and emphasizes preserving the area's scenic value.

Richard Pope, November 21, 2025, 11:43 AM

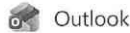
Richard Pope, a retired agronomist, personally opposes subdividing the Skinner property due to its fragile Loess Hills soils (low CSR2, steep slopes prone to erosion like recent Sioux City failures), which are unsuitable for development and part of Iowa's largest prairie remnant. He recommends denying the zoning change to limit building in the steep western bluffs and preserve non-crop values over inflated realtor assessments.

Seth Brooks (on behalf of Loess Hills National Scenic Byway, via Golden Hills RC&D), November 21, 2025, 3:57 PM

Seth Brooks, representing the Loess Hills National Scenic Byway, urges evaluation of the AP-to-AE rezone at Parcel #874624200011 for impacts on the Luton Special Landscape Area's ecology and the Byway's viewshed along Old Highway 141, where surveys value undeveloped ridgelines, vistas, and prairie. He stresses responsible decisions to maintain scenic qualities for residents, visitors, and governments.

Gary and Darlynn McMullen, November 21, 2025, 7:54 PM

Gary and Darlynn McMullen, living directly across from the proposed five-lot subdivision, strongly oppose it and the rezone, arguing the unique "Little Egypt" Loess Hills landscape should be preserved for public enjoyment as it's visible from the Scenic Byway. They warn the steep, poorly maintained gravel road will deteriorate with more traffic, and resent the late-resubmitted email.



Proposal for rezoning GIS Parcel #87462420001

From Jim Thomas <jjthomas10@gmail.com>

Date Thu 11/20/2025 5:25 PM

To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

Proposal for rezoning GIS Parcel #87462420001

Attn: Dan Priestley

My name is Jim Thomas. -- I live across the valley from this zoning proposal. Depending on the height of the houses, you would be able to see them across the valley from me. I moved to a small 2 ½ acre plot of land back in 2000. It wasn't easy to find an acreage because most of the area was zoned AP (Agricultural Preservation). The AP designation only allowed a limited number of houses per section. It is the reason I moved to my current property.

It is my understanding that the focus of Agricultural Preservation (AP Zoning) is to preserve the "rural character of the area". This parcel is located in a remote area that offers incredible scenic views from one of the highest points in Woodbury County. These views are currently accessible to anyone from the road.

The proposal to zone this as an Agricultural Estate would block these views and make them only accessible to the people who build houses on proposed Lots 1 & 2. While this may benefit the seller and owners of these lots, it would not preserve the "rural character of the area". It would dramatically change the character of the land and the area.

I completely understand why someone would want to develop this area, as it would command a premium price due to the views. I also appreciate the desire for more tax revenue. I would ask that you deny this rezoning request and preserve the "rural character of the area". It is why people build in this area. As the property currently sits, it preserves the land's character and allows the owner and people driving down the road to enjoy an incredible view of Woodbury County and the Loess Hills. Rezoning this property as an Agricultural Estate would make it more like a subdivision, and if that is what people want, we have plenty of those in the cities of Woodbury County.

I plan to attend the meeting and raise other issues for consideration, but I wanted to get something in writing in case my schedule doesn't work out.

Sincerely,

Reverend James G Thomas Jr.
Pastor at Holly Springs Bible Fellowship
2407 Franklin Ave
Hornick, IA 51026

--

Jim Thomas
Holly Springs Bible Fellowship

Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

RECEIVED

NOV 21 2025

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezone) application filed by Doug Skinner of Skinner Holdings LLC, the proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated on the west side of Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

WE STATE OR BELIEVE:

1. That the petitioners own and/or reside on land bordering or within five miles of the proposed minor subdivision.
2. That 252nd Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed minor subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
4. That future development of the lots will decrease enjoyment of the Loess Hills by those who live in them and by those who travel the Loess Hills National Scenic Byway for enjoyment.
5. That future development of the lots will increase land value and, therefore, increase property taxes for current residents.
6. That the construction of new wells for homes in the minor subdivision may negatively affect the water table in the area.
7. That future development of the lots will put additional strain on county services such as fire and police protection.
8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11/20/2025	<i>[Signature]</i>	Michael J. McHenry	8249 County Rd. D-25 Hornick IA
11/20/2025	<i>[Signature]</i>	Angela Morgan	2294 County Rd D-25 Hornick IA
11/20/2025	<i>[Signature]</i>	DAVID T. CHESNUT	2522nd ST. HORNICK IA
11/20/2025	<i>[Signature]</i>	THOMAS CHESNUT	2522nd ST. HORNICK IA
11/20/2025	<i>[Signature]</i>	DAVID CHESNUT	2522nd ST. HORNICK IA
11/20/2025	<i>[Signature]</i>	MARIA MICHAEL	2311 E. D-25 HORNICK IA
11/20/2025	<i>[Signature]</i>	DAVID MICHAEL	2321 E. D-25 HORNICK IA
11/20/2025	<i>[Signature]</i>	HELEN MICHAEL	2331 County Rd D-25 Hornick IA
11/20/2025	<i>[Signature]</i>	ROBERT J. MICHAEL	2339 County Rd D-25 Hornick IA

Petition circulator: Gary McMullen, 2375 252nd St.; Hornick, Iowa 51026

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezoning) application filed by Doug Skinner of Skinner Holdings LLC. The proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated at 2374 252nd Street, Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

1. That the petitioners own and/or reside on land bordering or within five miles of the proposed minor subdivision.
2. That 25th Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
4. That future development of the lots will decrease enjoyment of the Loess Hills by those who live in them and by those who travel the Loess Hills National Scenic Byway for enjoyment.
5. That future development of the lots will increase land value and, therefore, increase property taxes for current residents.
6. That the construction of new wells for homes in the minor subdivision may negatively affect the water table in the area.
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Date	Signature	Printed Name	Address
11-20-25	<i>Robert J. Feri</i>	ARROY F. Feri	2420 270 ST
11-20-25	<i>Cynthia A. Fox</i>	CYNTHIA FOX	2920 STETH ST. HORNICK IA
11/20/25	<i>James Thomas</i>	James Thomas	2407 Freedom Hornick, IA
11/20/25	<i>Leah Williams</i>	Leah Williams	3308 Drexel Rd Hornick IA
11-20-25	<i>Garrett Capric</i>	Garrett Capric	3202 240th St Hornick IA
11-20-25	<i>Robert Capric</i>	Robert Capric	7232 240th St Hornick IA
11-20-25	<i>Robert Capric</i>	Robert Capric	3201 Ohio Highway 141 Hornick IA
11-20-25	<i>Robert Capric</i>	Robert Capric	7243 CE DTS Hornick, IA 51026
11-20-25	<i>Robert Capric</i>	Robert Capric	2245 CEDDS Hornick, IA 51026



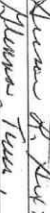






Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

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Signatures:

Date	Signature	Printed Name	Address
11-20-25		Byron Sexton	2413 Old Hwy 14, Hornick IA
11-20-25		Susan L. Sexton	2413 Old Hwy 14, Hornick IA
11-20-2025		Glenra Tevis	2539 Old Hwy 14, Hornick IA 51026
11-20-2025		Edwin D. Myrtue	2340 Old Hwy 14, Hornick IA 51026
11-20-25		Carolyn S. Sparger	2381 Old Hwy 14, Hornick IA 51026
11-20-25		Heather S. Sheffer	2381 Old Hwy 14, Hornick IA 51026
11-20-25		Linda Tevis	2537 Old Hwy 14, Hornick IA 51026
11-20-25		Bruce Tevis	2537 Old Hwy 14, Hornick IA 51026
11-20-25		Gary McMullen	2375 252 nd St, Hornick IA 51026

Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

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Signatures:

Date	Signature	Printed Name	Address
11-20-25	Robin Beem	Robin Beem	2329 Grundy Ave, Hornick, IA 51026
11-20-25	Jesse Beem	Jesse Beem	2329 Grundy Ave, Hornick, IA 51026
11/20/25	Colton Beem	Colton Beem	2605 280th Hornick IA 51026
11/20/2025	Deborah C. Subberger	Deborah C. Subberger	2641 Franklin Ave, Hornick, IA 51026
11/20/2025	Amy Subberger-Sattler	Amy Subberger-Sattler	2587 Franklin Ave, Hornick, IA 51026
11/20/2025	Casey Benton	Casey Benton	2755 Grundy Ave, Hornick, IA 51026
11/20/2025	Charles Sattler	Charles Sattler	2755 Grundy Ave, Hornick, IA 51026







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8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11/30/25		Joe Kogel	2316 240 th Hornick IA
11/30/25		George Mathis	2458 Dec Run Trail Hornick IA
11/30/25		Ben Mathis	2341 240 th St
11-20-25		Chris Krenner	2470 Franklin Ave Hornick IA
11-20-25		Sam Kennedy	2470 Franklin Ave Hornick IA
11-20-25		Darlyn McMullen	2375 252nd St, Hornick, IA







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WE STATE OR BELIEVE:

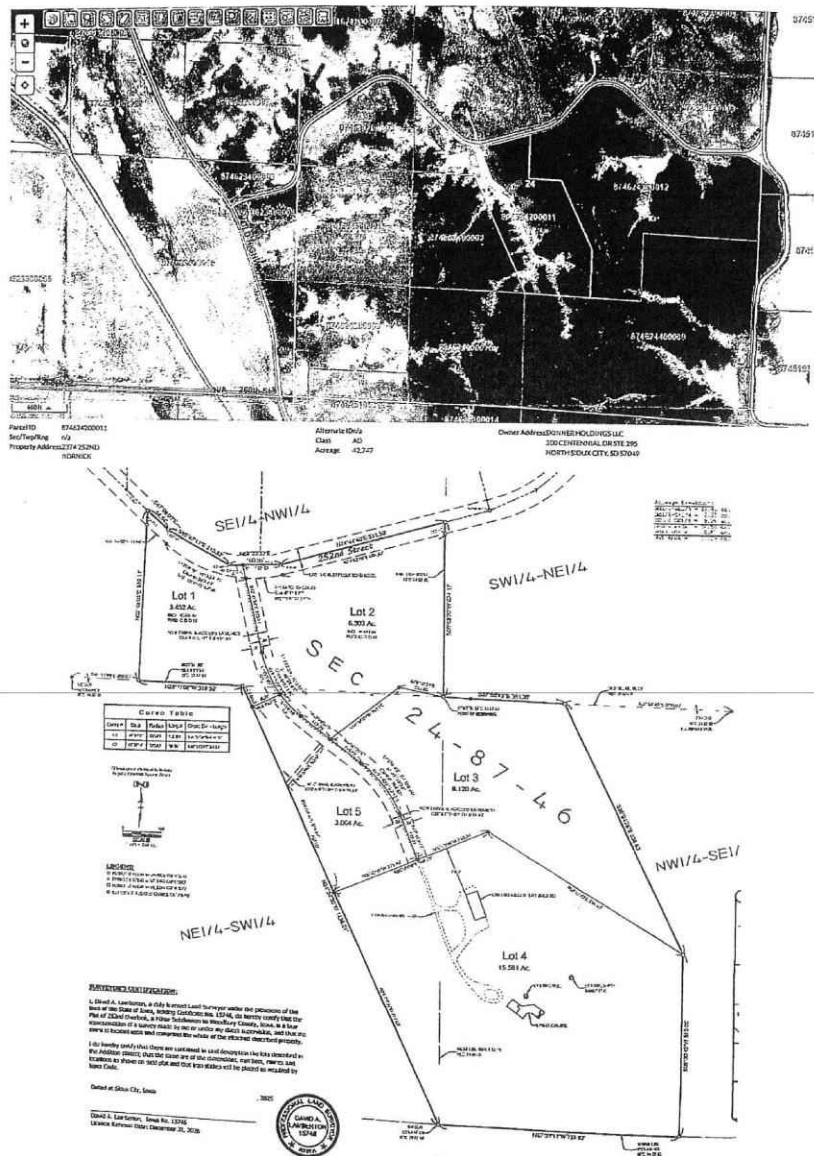
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Signatures:

Date	Signature	Printed Name	Address
11/20/25		Jason G. Jacey	2223 2405 th Street Hornick Iowa
11-30-25		Shauna Jockey	2333 2404 th St Hornick IA 51026
11-20-25		Matt Brock	2389 252 nd St Hornick, IA 51026
11/20/25		Robert Lorenzen	2303 County RD D25 Hornick IA 51026
11/20/25		Jennifer A. Modlin	2303 County Rd D25 Hornick, Ia 51026
11/20/25		Denise A. Modlin	2317 County Rd D25 Hornick IA 51026

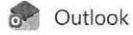
Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

Attachment to the Petition to the Woodbury County Planning and Zoning Commission



11/21/25, 12:40 PM

Skinner property comments - Daniel Priestley - Outlook



Skinner property comments

From Richard Pope <ropope1951@gmail.com>

Date Fri 11/21/2025 11:43 AM

To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

 1 attachment (15 KB)

Comments on the SKinner tract proposal.docx;

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

I have attached some comments for consideration by the Zoning board.

Thank you

These comments are in regard to the proposal to subdivide the Skinner property, 2374 252nd St. Hornick.

I am Rich Pope, a resident of Sloan. These comments are my personal thoughts about the proposed activity, and do not reflect any organizations I am affiliated with, particularly the Woodbury County Conservation Foundation board and the Exec. Committee of the Loess Hills Alliance. I am a retired agronomist with a degree and subsequent career experience in soil management and soil morphology and genesis related to land use.

I am specifically troubled by extensive development in the front range of the loess hills landform. I realize that from the casual observer areas like this site have little value other than natural areas/hunting ground and with its location can be attractive as housing sites. I

This site consists of predominantly fragile soils. I caution reviewers to not pay close attention to the CSR2 ratings on the site, which only have value in evaluating soils for corn (and soybean) production. Obviously, this site is not appropriate for crop production, other than the existing wildlife food plots. The CSR2 rating system is primarily designed as a tool to help assessors to evaluate land for tax purposes, but CSR2 has been appropriated by realtors for private land sales and hence, assessing artificial "value" based on suitability for crop production. But land areas have other values that are more appropriate to consider.

A significant portion of the area is mapped as Hamburg silt loam and Ida silt loam. Both are Typic Udorthents, which means the erosion of surface materials limits soil development geologically. Slopes range from 14 to more than 80 percent, and the soils formed in loess. Loess is a well sorted, wind-deposited deposit that loses strength and will severely erode if water flow is concentrated and the loess becomes saturated. As an example, look at the recent South Cornelia street failure from piping and channeling from a broken main in Sioux City. That means that the area can be quickly degraded by any intensive development. And once a small subdivision is established, expansion can involve more of these fragile areas that once lost cannot be reclaimed. This Skinner site features a prairie ecosystem that since European settlement has undergone the influx of trees and shrubs. However, the prairie community present is still there and is part of the loess hills landform, the largest remaining prairie area in Iowa.

In my opinion, development in Woodbury County should be extremely limited especially within the first mile or two of the loess bluffs on the western side of the landform (Missouri River valley). This zone is where the most steep and fragile soil areas exist.

I encourage the board to deny the zoning change for this tract.



P.O. BOX 189
OAKLAND, IOWA 51560
P: 712.482.3029
F: 712.482.5590
WWW.GOLDENHILLSRCD.ORG

November 21, 2025

Woodbury County Zoning Commission,

I am writing on behalf of the Loess Hills National Scenic Byway™ about the proposed development at 2374 252nd Street, Hornick, IA (Parcel #874624200011) and application to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District in Woodbury County.

The Loess Hills are a distinctive and important landform in western Iowa, recognized for their ecological, scenic, and cultural significance. The parcel under consideration for rezoning is located within the Luton Special Landscape Area of the Loess Hills landform. Special Landscape Areas are locations identified for their notable natural or scenic characteristics and are intended to receive heightened consideration in land-use decisions. While this area is privately owned and primarily used for agricultural purposes, it remains an uncommon landscape type within Woodbury County. Residents living near the site have contacted our organization to express concerns regarding potential development and its effects on the broader Loess Hills landform.

This parcel also falls within the viewshed of the Loess Hills National Scenic Byway along Old Highway 141. According to the Corridor Management Plan, scenic quality is a defining intrinsic characteristic of the Byway, shaped by both natural features—such as landform, vegetation, and open vistas—and human-made elements that reflect the region's rural heritage. Public surveys, visual perception studies, and viewshed mapping completed during the Byway's planning process consistently identify several qualities that travelers value: long or unobstructed sight distances, undeveloped ridgelines, prairie vegetation, varied land cover, and minimal visual interruption within prominent viewpoints. These findings guide land-use strategies intended to preserve and enhance the scenic character of the Byway corridor.

Given these considerations, we respectfully recommend that the Woodbury County Zoning Commission evaluate how rezoning and future development on this parcel may affect both the ecological features of the Loess Hills and the scenic resources identified in the Corridor Management Plan of the Loess Hills National Scenic Byway. Responsible land-use decisions within the Byway viewshed play an important role in maintaining the landscape characteristics that residents, visitors, and local governments have indicated are most valued.

Sincerely,

Seth A Brooks

Seth Brooks
Byway Coordinator, Loess Hills National Scenic Byway

All RCD programs and services are offered on a non-discriminatory basis without regards to race, color, national origin, religion, age, marital status, sexual orientation or handicap.



RE: Comments Requested for Subdivision and Rezone - 2374 252nd St., Hornick, IA (Parcel #874624200011)

From Seth Brooks <seth.brooks@goldenhillsrca.org>
Date: Fri 11/21/2025 3:57 PM
To: Daniel Priestley <dpriestley@woodburycountyia.gov>

1 attachment (234 KB)
LHNSB Hornick Rezoning Comments.pdf

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.

Daniel,
The email below says comments are due by November 17, but I heard some another person that comments were due at 4:00pm today. If comments are still being accepted for this hearing, but consider the attached.

Thank you.

Seth Brooks
Project Coordinator
Golden Hills RC&D
712 South Highway Street
PO Box 189
Oakland, IA 51560
(712) 482-3029
seth.brooks@goldenhillsrca.org



From: Daniel Priestley <dpriestley@woodburycountyia.gov>
Sent: Wednesday, November 12, 2025 8:34 AM
To: Daniel Priestley <dpriestley@woodburycountyia.gov>
Subject: Comments Requested for Subdivision and Rezone - 2374 252nd St., Hornick, IA (Parcel #874624200011)

Second Request –

Comments about Development (minor subdivision/rezone) at 2374 252nd Street, Hornick, IA (Parcel #874624200011)

Dear Woodbury County Stakeholder:

Second Requested for Comments. Please know, the property parcel number is **Parcel #874624200011**.

Woodbury County Planning and Zoning has received an application from Doug Skinner of Skinner Holdings LLC for a five (5) lot minor subdivision and an application for a Zoning Ordinance Map Amendment (Rezone) to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District. The proposed subdivision/rezone, named 252nd Overlook is for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as **GIS Parcel #874624200011**. The property is situated at 2374 252nd St., Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. This rezoning is proposed to accommodate the future development of the lots, which is required under Section 3.01.1 B of the Woodbury County Zoning Ordinance.

The **Woodbury County Zoning Commission** will conduct both public hearings at **5:00 PM on Monday, November 24, 2025** to consider the applications for recommendations to the Board of Supervisors. The hearings will be held in the basement of the **Woodbury County Courthouse at 620 Douglas St., Sioux City, IA 51101**.

Attached to this email is the review packet for your reference. We kindly ask you to review the enclosed documents and provide any comments or concerns you may have regarding these applications. Your input is valuable and will be considered as part of the review process.

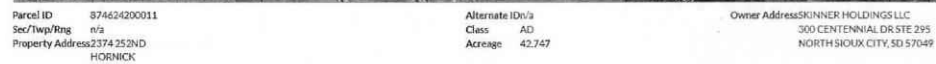
Please provide your comments no later than **10:00 AM on Monday, November 17, 2025**.


Thank you for your time and consideration.

Respectfully and sincerely,

Dan Priestley

Phone: 712-279-6609
Fax: 712-279-6530
Website: WoodburyCountyIowa.gov



 Outlook

Skinner (5) lot minor subdivision

From Gary McMullen <1966duece.gm@gmail.com>

Date Fri 11/21/2025 7:54 PM

To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

Hi Dan

My name is Gary McMullen I reside at 2375 252nd St. Hornick IA. My property is directly across the street from the proposed 252nd Overlook (5) lot minor subdivision submitted by Doug Skinner of Skinner Holdings LLC. We are strongly opposed to minor subdivision and zoning map amendment (rezone).

We feel the Loess Hills unique landform should be left alone so everyone can enjoy. This (5) lot minor subdivision will be seen from the Loess Hills National Scenic Byway.

This proposed subdivision is on a poorly maintained gravel road with a very steep incline. I believe this road will continue to deteriorate with the increased traffic flow.

This area known as Little Egypt is a unique landscape admired by many and should be preserved.

I sent this email a couple days ago and did not realize it did not get to you. I know it is late but wanted to resend anyway.

Sincerely

Gary and Darlynn McMullen
2375 252nd St., Hornick IA 51026



Alternate IDn/a
 Class AD
 Acreage 35.69

Owner AddressSKINNER HOLDINGS LLC
 300 CENTENNIAL DR STE 295
 NORTH SIOUX CITY, SD 57049

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**

ORDINANCE NO. ____

**A ZONING DISTRICT DESIGNATION MAPPING AMENDMENT
TO THE WOODBURY COUNTY, IOWA ZONING ORDINANCE**

WHEREAS the Board of Supervisors of Woodbury County, Iowa, adopted a Zoning Ordinance on July 22, 2008, by Resolution No. 10,455 being recorded in the Office of the Woodbury County Recorder, and

WHEREAS the Woodbury County Board of Supervisors has received a report in respect to amending the said Ordinance from the Woodbury County Zoning Commission which held a public hearing on the amendment; all as by law provided. Which the amendment is attached hereto marked item One (1), and hereby made a part hereof; and

WHEREAS the Woodbury County Board of Supervisors has received said report, studied and considered the same, and has held hearings on said amendment, all as by law provided; and

WHEREAS the Woodbury County Board of Supervisors has concluded that the said ordinance shall amend the aforesaid Zoning Ordinance;

NOW THEREFORE, BE IT RESOLVED by the Woodbury County Board of Supervisors, duly assembled, that the aforesaid Zoning District is amended as shown on said attached item One (1); and the previous zoning district designation shall be repealed upon the effective date of this amendment.

Dated this ____ day of _____, 2025.

THE WOODBURY COUNTY, IOWA BOARD OF SUPERVISORS

Daniel Bittinger II, Chairman

Mark Nelson, Vice-Chairman

Kent Carper

Attest:

David Dietrich

Michelle K. Skaff, Woodbury County Auditor

Matthew Ung

Adoption Timeline:

Date of Public Hearing and First Reading _____

Date of Public Hearing and Second Reading _____

Date of Public Hearing and Third Reading _____

Date of Adoption _____

Published/Effective Date _____

ITEM ONE (1)

Property Owner(s): Doug Skinner of Skinner Holdings LLC, 300 Centennial Dr. Ste. 295, North Sioux City, SD 57049

Petitioner Applicant(s): Doug Skinner, 940 Quail Hollow Circle, Dakota Dunes, SD 57049

Pursuant to Section 2.02:4 of the Woodbury County Zoning Ordinance, and in accordance with Section 335 of the Code of Iowa, the Woodbury County Zoning Commission held a public hearing on **November 24, 2025**, to review and make a recommendation for amendments to the Woodbury County Zoning Ordinance and Mapping for the unincorporated area of Woodbury County, Iowa as follows:

Amendment to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #874624200011 and is described as:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 26°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North 02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**

STAFF NOTE OF CLARIFICATION OF ADDITION – PRELIMINARY TITLE OPINION

Added after the Zoning Commission Meeting

In addition to the "Attorney's Title Opinion" that is and was included on the face of the proposed final plat, the subsequent pages include the "Preliminary Title Opinion #45856P." The preliminary is being added for information purposes in addition to the title opinion already included on the final plat.

CRARY HUFF

Alex S. Berenstein

Phone: (712) 224-7573
Email: aberenstein@craryhuff.com

329 Pierce Street, Suite 200
Sioux City, IA 51101
craryhuff.com

October 27, 2025

Brenton Feuchtenberger

RE: Preliminary Title Opinion #45856P
2374 252nd Street, Hornick, Iowa 51026

Greetings:

We have examined the abstract of title to property located in Woodbury County, Iowa described as follows:

See Legal Description Attached:

The abstract is in three parts, Part I consisting of entries 1-44, Part II consisting of entries 1-63 and Part III consisting of entries 1-42 from the root of title pursuant to the Iowa Marketable Title Act and is now continued through Entry 42 of Part III to October 16, 2025 at 5:00 P.M. by Engleson Abstract Co., Inc. and shows title by Trustee Warranty Deed dated April 21, 2021 and filed April 26, 2021 in Inst. #2021-05376 of Part III as shown at Entry 20 in:

Skinner Holdings, LLC,
a South Dakota limited liability company

subject to the following:

1. Entry 21 of Part III shows a Mortgage from Skinner Holdings, LLC to Central Bank, dated May 14, 2021 and filed May 18, 2021 in Inst. #2021-06689. Said Mortgage encumbers the caption description and other property. The Mortgage secures the sum of \$1,000,000.00 payable as therein provided. Final payment due according to note; and it also secures future advances up to the amount of \$1,000,000.00. Loans and advances up to this amount, together with interest, are senior to indebtedness to other creditors under subsequently recorded or filed mortgages and liens. The Mortgage includes a Homestead Exemption Waiver and contains six months, sixty days redemption clause in event of foreclosure. For full particulars, see said Entry.

2. Entry 39 of Part III shows an Option Agreement dated June 13, 2025, filed June 17, 2025, in Inst. #2025-06047. Pursuant to the Agreement Skinner Holdings, LLC, granted

Habitat Restoration Services, LLC, an option to purchase the real estate upon the terms as set forth more particularly therein. For full particulars, see said Entry.

3. Entry 18 of Part I shows an Easement from Leo Lux and Mary Lux, husband and wife to Woodbury County Soil Conservation District of Sioux City, Iowa, dated August 27, 1960 and filed October 7, 1960, in Book 957, Page 303. Said Easement grants, bargains, sells, conveys and releases a permanent and perpetual easement, in, over and upon those portions of the following described land situated within the Washburn Watershed, to wit: S $\frac{1}{2}$ Section 24 and that portion of the S $\frac{1}{2}$ of the SE $\frac{1}{4}$ of Section 23, within the Watershed boundary, and the N $\frac{1}{2}$ of the NW $\frac{1}{4}$ and the NE $\frac{1}{4}$ and the N $\frac{1}{2}$ of the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ and the N $\frac{1}{2}$ of the SW $\frac{1}{4}$, Section 25 all in T 87 N R 46W of the 5th P.M. and or in connection with the construction, operation, maintenance and inspection of the following described works of improvements to be located on the above described land; for the flowage of any water in, over and through such works of improvement; and for the permanent storage and temporary detention, either or both, of any waters that are impounded, stored or detained by such works of improvements.

4. Entry 16 of Part II shows an Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954, in Book 748, Page 264. Said Easement sells and conveys for road purposes and for use as a Public Highway, the following described premises situated in the County of Woodbury, State of Iowa, to-wit: Commencing at a point 935.7 feet South and 33.0 feet West of the NE corner Section 24 T87N R46W; thence southwesterly 266.3 feet along a 171.6 foot radius curve, concave northwesterly with a central angle of 88°56' and tangent to its following course; thence N 88°56' E 167.9 feet; thence north 167.9 feet to the point of beginning.

5. Entry 17 of Part II shows an Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954 in Book 748, Page 262. Said Easement sells and conveys for road purposes and for use as a Public Highway, the following described premises situated in the County of Woodbury and State of Iowa: Commencing at a point which is north 414.6 feet; N 53°08' E 1202.0 feet and S 49°49' E 575.1 feet of the SW corner of the NW $\frac{1}{4}$ Section 24 T87N R 46W; thence S 24°53' E 78.3 feet; thence S 49°49' E 537.5 feet; thence N 72°01' E 258.5 feet; thence northwesterly 330.0 feet along a 325.1 foot radius curve, concave northerly, with a central angle of 58°10' and tangent to its following course; thence N 49°40' W 539.6 feet; thence S 24°53' E 78.3 feet to the point of beginning.

6. Entry 25 of Part II shows an Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated May 2, 1960 and filed May 10, 1960 in Book 947, Page 385. Said Easement grants, bargains, sell, conveys and releases a permanent and perpetual easement in, over and upon the following described land situated within the Heisler Creek Watershed, located in that part of the North half of Section 24 lying within the watershed boundary, Township 87, Range 46, West of the 5th P.M.

7. Entry 26 of Part II shows a Maintenance Agreement dated May 12, 1960 and filed May 12, 1960 in Book 947, Page 415.

8. Entry 27 of Part II shows an Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 294. Said Easement grants, bargains, sells, conveys and releases a permanent and perpetual easement in, over and upon those portions of the following described land situated within the Washburn Watershed, located in the County of Woodbury, State of Iowa, to-wit: That portion of the West Half (W ½) of the South East Quarter (SE ¼) and the West Half (W ½) of the East Half (E ½) of the South East Quarter (SE ¼) of Section 14, within the watershed boundary, Township 87 North, Range 46 West of the 5th P.M.

9. (a) Entry 28 of Part II shows a Maintenance Agreement dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 288.

(b) Entry 30 of Part II shows a Partial Satisfaction dated November 7, 1973 and filed November 21, 1973 in Roll 22, Image 2073. Said Partial Satisfaction is a partial release of Watershed Agreement recorded in Book 947, Page 415 as shown at Entry #26, only in-so-far as the same pertains to and covers the monetary obligation of Paragraph C (Security for which was established by Paragraph A) of said agreement.

10. Entry 34 of Part III shows an Easement for Use of Trail System, dated March 29, 2024, filed April 1, 2024 in Inst. #2024-02717.

11. Entry 31 of Part I shows a Resolution adopted by the Iowa State Highway Commission on May 2, 1956 and filed July 16, 1956 in Book 833, Pages 322 to 330 inclusive which resolution declared that the rights of direct access to, from and across all Primary road in Woodbury County shall be controlled under the authority and provisions of Chapter 148 of the Acts of the 56th General Assembly of the State of Iowa. For full particulars, see said Entry.

12. Entry 32 of Part I shows Resolution Number 6332 of the Woodbury County Board of Supervisors recorded in the Office of the Woodbury County Recorder on May 12, 1977 on Roll 62, Images 2118 and 2119. Said Resolution contains numerous provisions and regulations governing the use of certain lands within Woodbury County, Iowa that may be within the boundary designated as a Flood Hazard Area. Said area is to be established from time to time by action of the Woodbury County Board of Supervisors pursuant to Chapter 358.A, Code of Iowa. For maps of the various Flood Zones and further particulars, you are directed to consult the Office of the Woodbury County Zoning Administrator.

13. Entry 33 of Part I shows Resolution Number 6333 of the Woodbury County Board of Supervisors recorded in the Office of the Woodbury County Recorder on May 12, 1977 on Roll 62, Images 2120 and 2121. In compliance with the National Flood Disaster Protection Act of 1973, said Resolution contains numerous provisions and regulations governing the issuance of building permits, new construction or substantial improvements to determine whether proposed sites will be reasonably safe from flooding. The Resolution provides in part that the Zoning Administrator must review and approve of certain proposed uses of real estate. For maps of the various Flood Zones and further particulars, you are directed to consult the Office of the Woodbury County Zoning Administrator.

14. Entry 6 of Part III shows a Notice of Filing of Soil and Water Resource Conservation Plan filed July 29, 1992 in Roll 266, Image 2343 stating that certain real estate in Woodbury County, Iowa may be subject to the soil conservation practice plan provided for in Iowa Code Section 467A.7(20)(b) (1991), and House File 2112, 74th G.A., 2nd Sess., Section 1 (Iowa 1992), or as subsequently amended.

15. Entry 9 of Part III Resolution #10,456, filed for record August 29, 2008 and recorded in Roll 699, Image 7313. Showing that the Woodbury County, Iowa Board of Supervisors adopted new subdivision ordinances prescribing minimum requirements for the design and development of new subdivisions and the re subdivision of land in the unincorporated area of Woodbury County, Iowa. For full particulars, see said Entry.

16. Entry 35 of Part III shows Ordinance No. 61 filed February 28, 2022 in Instrument #2022-02525. Said Ordinance makes changes to existing Ordinances regarding the Woodbury County Planning and Zoning Commission and Board of Adjustment.

17. Entry 36 of Part III shows Ordinance No. 74 filed August 18, 2023 in Instrument #2023-07899. Said Ordinance amends portion of the land use summary table of allowed uses in each zoning district.

18. Entry 40 of Part III shows Ordinance No. 83 filed August 25, 2025 in Instrument #2025-08723. Said Ordinance amends zoning ordinance to include the uses of Nuclear Energy Facilities and Nuclear Waste Storage as energy and Nuclear Waste Storage option to unincorporated Woodbury County and to allow for the consideration of such facilities in general industrial zoning areas as conditional uses.

19. Entry 41 of Part III show Ordinance No. 84 filed August 25, 2025 in Instrument #2025-08722. Said Ordinance amends zoning ordinance relating to accessory second dwellings in unincorporated Woodbury County.

20. Entry 42 of Part III shows taxes for 2024/25 on an irreg tet being pt of SE NW, pt of NW SW pt of NW SE of 24-87-46 described as beg at center of Sec 24 thnc E 82.24 ft along N line of NW SE, thnc cont E along N line of NW SE for 279.12 ft, thnc SE 838.63 ft, thnc S 550 ft to S line of NW SE, thnc W along S line of NW SE 728.62 ft, thnc NW 1436.51 ft to N line of NE SW, thnc W along N line of NE SW for 318.36 ft thnc N 520.11 ft to centerline of road, thnc along centerline of road the next 4 courses: E 84.54 ft, SE 213.82 ft, Ely 160.55 ft, NE 511.50 ft to W line of SE NW, thnc S along W line 524.17 ft to center of Sec 24 & pob Grange Township (less ag credit): \$9,186.00; payable in two installment of which the first installment is paid, the second installment remains unpaid. (See GIS #874624200011).

21. The abstracter has made no search for judgments or other liens against Brenton Feuchtenberger.

Sincerely,

A handwritten signature in black ink, appearing to read 'A. Berenstein'.

Alex S. Berenstein
For the Firm
Guarantee #10772

ATTORNEY'S TITLE OPINION ON FINAL PLAT

TITLE OPINION

TO: COUNTY AUDITOR AND RECORDER
WOODBURY COUNTY, IOWA

Dear Madam:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Section 354.11(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: 252nd Overlook, a Minor Subdivision of the City of Sioux City, Woodbury County, Iowa, last certified by Engleson Abstract Co., Inc., dated _____, 2025 at 8:59 a.m. and from said abstract find good and merchantable title to said premises vested in Skinner Holdings, LLC, the proprietor, free and clear of all mortgages, liens and other encumbrances, except as follows:

1. Mortgage from Skinner Holdings, LLC, to Central Bank, dated May 14, 2021, and filed on May 18, 2021, as Instrument #2021-06689.
2. Option Agreement from Skinner Holdings, LLC, to Habitat Restoration Services, LLC, dated June 13, 2025, filed on June 17, 2025, as Instrument #2025-06047.
3. Easement from Leo Lux and Mary Lux, husband and wife to Woodbury County Soil Conservation District of Sioux City, Iowa, dated August 27, 1960 and filed October 7, 1960, in Book 957, Page 303.
4. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954, in Book 748, Page 264.
5. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954 in Book 748, Page 262 Development Agreement between Clayton Creek, L.L.C. and the City of Sioux City, Iowa, dated April 24, 2017 and filed on April 25, 2017 in Roll 752, Image 4744.
6. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated May 2, 1960 and filed May 10, 1960 in Book 947, Page 385.
7. Maintenance Agreement dated May 12, 1960 and filed May 12, 1960 in Book 947, Page 415.
8. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 294.
9. Maintenance Agreement dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 288.
10. Easement for Use of Trail System, dated March 29, 2024, filed April 1, 2024 in Inst. #2024-02717.
11. All certified real estate taxes and special assessments due and payable have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: _____.

Alex S. Berenstein
ATTORNEY AT LAW

WOODBURY COUNTY, IOWA
MINOR SUBDIVISION APPLICATION

Applicant: Doug Skinner Name of Owner

Mailing Address: 940 Quail Hollow Circle Dakota Dunes, SD 57049
Street City or Town State and Zip + 4

Property Address: 2374 252nd Hernich IA 51026
Street City or Town State and Zip + 4

Ph/Cell #: [REDACTED] E-mail Address: [REDACTED]

To subdivide land located in the SE 1/4 - NW 1/4, the NE 1/4 - SW 1/4
NW 1/4 - SE 1/4 Quarter of Section 24

Civil Township Grange GIS Parcel # 87462400011

Name of Subdivision: 252nd Overlook

Subdivision Area in Acres 36.50 Number of Lots 5

Attachments:

1. Eight (8) copies of grading plans; if required.
2. Eight (8) copies of final plats (Complete per Section 4.01 of the Subdivision Ordinance).
3. An attorney's opinion of the abstract.
4. A Certified abstractor's certificate to include:
 - a. Legal description of proposed subdivision.
 - b. Plat showing clearly the boundaries of the subdivision.
 - c. A list of names, mailing addresses (including the ZIP + 4), and legal descriptions of all property owners within 1000'.

Surveyor: Dave Lambertson Ph/Cell: 712 203 1323

Attorney: Alex Berenstein Ph/Cell: 712 389 4302

I hereby grant permission to the Woodbury County Zoning Staff and elected or appointed officials to conduct on-site inspections.

Owner's Signature: [Signature]Zoning Director: [Signature]

For Office Use Only:

Zoning District AP Flood District X Date _____ No. 712.5

Application Fee

4 Lots or less (\$300*+ Additional Fees)

5 Lots or more (\$300* plus \$5 per lot + Additional Fees) \$325 CLK# 5487

*Owner(s)/applicant(s) shall pay the additional costs associated with the processing, printing, and the mailing of notifications of the public hearings when the number of mailings required exceeds 30. The owner(s)/applicant(s) shall pay the additional costs of the legal publication notice(s) in newspaper(s) when the fees exceed \$100.00.

RECEIVED

NOV 5 2025

WOODBURY COUNTY
PLANNING & ZONING

INDEX LEGEND:

PART OF: SE1/4-NW1/4, NE1/4-SW1/4, NW1/4-SE1/4, Section 24, T87N-R46W
 CURRENT PROPRIETOR: Skinner Holdings, L.L.C.
 SURVEY REQUESTED BY: Skinner Holdings, L.L.C.
 PREPARED BY AND RETURN TO:
 David A. Lamberton, DGR Engineering, 6115 Whispering Creek Drive,
 Sioux City, IA 51106 (712) 266-1554 dave.lamberton@dgr.com

FINAL PLAT OF 252nd OVERLOOK

A MINOR SUBDIVISION TO WOODBURY COUNTY, IOWA

OWNER / SUBDIVIDER:
 Skinner Holdings, L.L.C.
 300 Centennial Drive, Suite 295
 North Sioux City, SD 57049
 712-251-2476

SURVEYOR:
 DGR Engineering
 6115 Whispering Creek Drive
 Sioux City, IA 51106
 (712) 266-1554
 David A. Lamberton, PLS
 dave.lamberton@dgr.com

SUBDIVISION:
 5 LOTS = 38.500 Acres
 Smallest Lot = 3.452 Acres

FEMA:
 Zone X, Area of Minimal Flood Hazard

PROPOSED ZONING:
 AE - Agricultural Estates

Setbacks:
 Front yard = 75'
 Side yard = 20'
 Accessory structure = 10'
 Rear yard = 50'
 Accessory structure = 10'

SUBDIVISION DESCRIPTION:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24, thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet, thence South 26°04'20" East for a distance of 538.63 feet, thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24, thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4, thence North 24°14'30" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24, thence North 88°17'08" West along said north line for a distance of 318.36 feet, thence North 02°44'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office, thence South 47°08'00" East along said center line for a distance of 84.54 feet, thence South 00°47'11" East along said center line for a distance of 213.82 feet, thence North 88°29'33" East along said center line for a distance of 160.55 feet, thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24, thence South 00°08'26" West for a distance of 554.17 feet to the Point of Beginning, containing 38.50 acres more or less. Subject to easements, if any, of record or apparent.

NOTES:

- See Plat of Survey - Roll 727, Image 3106.
- See Plat of Survey - Instrument #: 20222322.
- Boundary line along 252nd St. determined from legal description found on Roll 156, Image 1615 and found monuments in road.
- R.O.W. easement determined from Woodbury County Project L-273 plans, and existing centerline of road.



DGR
ENGINEERING

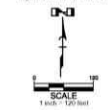
DGR Engineering
 6115 Whispering Creek Drive
 Sioux City, IA 51106
 (712) 266-1554
 www.dgr.com

Date: November 5, 2025
 Drawn By: DAL
 Project No. 275071
 Sheet: 1 OF 2

Issued - 11/05/2025 10:10 AM (MST) The Plotted

Curve#	Data	Radius	Length	Chord Dr. - Length
C1	27°30'00"	65.00'	109.00'	84.71' (27°30'00" Dr. - Length)
C2	27°30'00"	65.00'	30.00'	24.17' (27°30'00" Dr. - Length)

All angles are referenced to the true
 magnetic meridian. Zone 14



LEGEND

- FOUNDED (P) PERMANENT OR GRASSY CAP STONE
- FOUNDED (P) PERMANENT OR YELLOW CAP STONE
- FOUNDED (P) PERMANENT OR YELLOW CAP STONE
- SET 1/4" x 3/8" PERMANENT OR GRASSY CAP STONE

SURVEYOR'S CERTIFICATION:

I, David A. Lamberton, a duly licensed Land Surveyor under the provisions of the laws of the State of Iowa, holding Certificate No. 15746, do hereby certify that the Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa, is a true representation of a survey made by me or under my direct supervision, and that the same is located upon and comprises the whole of the attached described property.

I do hereby certify that there are contained in said description the lots described in the Addition platted; that the same are of the dimensions, numbers, names and locations as shown on said plat and that iron stakes will be placed as required by Iowa Code.

Dated at Sioux City, Iowa, _____, 2025.

David A. Lamberton, Iowa No. 15746
 License Renewal Date: December 31, 2026



FINAL PLAT OF
252nd OVERLOOK

A MINOR SUBDIVISION TO WOODBURY COUNTY, IOWA

DEDICATION

Skinner Holdings, LLC, a South Dakota limited liability company, the owner of the real estate described in the attached Surveyor's Certificate, has in the pursuance of the law, caused said described real estate to be surveyed, staked and platted into lots and easements, as is particularly shown and set forth in the attached Plat and said Certificate of David A. Lamberton, a Licensed Surveyor who surveyed and platted the real estate to be known as 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa; that the same is prepared with the free consent and in accordance with the desires as owner and proprietor thereof.

Executed at Sioux City, Iowa, the _____ day of _____, _____.

SKINNER HOLDINGS, LLC

By: _____
Douglas Skinner, Manager

STATE OF IOWA :
: ss
COUNTY OF WOODBURY :

This record was acknowledged before me on _____
by Douglas Skinner, as Manager of Skinner Holdings, LLC.

Notary Public - State of Iowa

CONSENT TO PLATTING

The undersigned Habitat Restoration Services, LLC, the present owner and holder of the Option Agreement, recorded as Document Number: 2025-06047, states that the Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa, is prepared with Habitat Restoration Services, LLC's free consent and in accordance with its desire. This statement is made in accordance with Iowa Code section 354.11(1)(b).

Dated: _____.

Habitat Restoration Services, LLC

By: _____
Brenton Feuchtenberger, Manager

STATE OF IOWA :
: ss
COUNTY OF WOODBURY :

This record was acknowledged before me on _____
by Brenton Feuchtenberger, as Manager of Habitat Restoration Services, LLC.

By: _____
Notary Public in and for said State

STATEMENT OF MORTGAGE HOLDER

The undersigned Central Bank, the present owner and holder of the Mortgage, recorded as Document Number: 2021-05689, states that the Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa, is prepared with Central Bank's free consent and in accordance with its desire. This statement is made in accordance with Iowa Code section 354.11(1)(b).

Dated: _____.

Central Bank

By: _____

STATE OF IOWA :
: ss
COUNTY OF WOODBURY :

This record was acknowledged before me on the _____

by _____ as _____ of Central Bank.

By: _____
Notary Public in and for said State

BOARD OF SUPERVISORS RESOLUTION NO. _____.

Resolution accepting and approving the Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa.

Whereas, it appears that said plat conforms with all the provisions of the code of the State of Iowa and ordinances of Woodbury County, Iowa, with reference to the filing of same; AND

Whereas, the County Engineer of Woodbury County, Iowa has recommended the acceptance and approval of said plat.

Now therefore, be, and it is hereby resolved by the Woodbury County Board of Supervisors, Woodbury County, Iowa, that said Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa, be, and the same is hereby accepted and approved, and the chairman and secretary of the Woodbury County Board of Supervisors, Woodbury County, State of Iowa, are hereby directed to furnish to the owners an proprietor's certified copy of this resolution as required by law.

Passed and approved this _____ day of _____, _____.

Daniel A. Bittenger II
Chairman
Board of Supervisors
Woodbury County, Iowa

ATTEST: Michelle K. Skaff
Secretary

RESOLUTION AND CERTIFICATE OF THE WOODBURY COUNTY ZONING COMMISSION OF WOODBURY COUNTY, IOWA

I, Chris Zellmer Zant, do hereby certify that I am the Chairperson of the Woodbury County Zoning Commission of Woodbury County, Iowa, and do further certify that said Commission did take under advisement the attached Plat of 252nd Overlook, a Minor Subdivision to Woodbury County, Iowa, and that said Woodbury County Zoning Commission of Woodbury County, Iowa did on the _____ day of _____ approve the same and does further hereby recommend to the Woodbury County Board of Supervisors, Woodbury County, Iowa, the acceptance and approval of said Plat.

Dated _____.

Chris Zellmer Zant
Chairperson, Woodbury County Zoning
Commission of Woodbury County, Iowa

TREASURER'S CERTIFICATE OF TAXES AND SPECIAL ASSESSMENTS

I, Tina M. Bertrand, Treasurer of Woodbury County, Iowa, do hereby certify that the land described in the attached and foregoing Surveyor's Certificate is free from certified taxes and certified special assessments.

Dated _____.

Tina M. Bertrand
Treasurer Woodbury County, Iowa

CERTIFICATE OF COUNTY ASSESSOR

I, Tyler Mogensen, hereby certify that on the _____ day of _____, _____ a copy of this Plat was filed in the Woodbury County Assessor's Office.

Dated _____.

Tyler Mogensen
City Assessor

COUNTY ENGINEER'S CERTIFICATE

I, Laura Sievers, P.E., The County Engineer of Woodbury County, Iowa, do hereby certify that I have reviewed the attached plat and have mathematically computed the error of closure of the plat perimeter and of the lots contained therein, and find that said plat conforms with the closure requirements of the Woodbury County Subdivision Ordinance for the unincorporated areas of Woodbury County, Iowa.

Dated _____.

Laura Sievers, P.E.
County Engineer, Woodbury County, Iowa

TITLE OPINION

TO: COUNTY AUDITOR AND RECORDER
WOODBURY COUNTY, IOWA

Dear Madam:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Section 354.11(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: 252nd Overlook, a Minor Subdivision of the City of Sioux City, Woodbury County, Iowa, last certified by Engelson Abstract Co., Inc., dated _____, 2025 at 8:59 a.m. and from said abstract, find good and merchantable title to said premises vested in Skinner Holdings, LLC, the proprietor, free and clear of all mortgages, liens and other encumbrances, except as follows:

1. Mortgage from Skinner Holdings, LLC, to Central Bank, dated May 14, 2021, and filed on May 18, 2021, as Instrument #2021-06689.
2. Option Agreement from Skinner Holdings, LLC, to Habitat Restoration Services, LLC, dated June 13, 2025, filed on June 17, 2025, as Instrument # 2025-06047.
3. Easement from Leo Lux and Mary Lux, husband and wife to Woodbury County Soil Conservation District of Sioux City, Iowa, dated August 27, 1960 and filed October 7, 1960, in Book 957, Page 303.
4. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954, in Book 748, Page 264.
5. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954 in Book 748, Page 263 Development Agreement between Clayton Creek, L.L.C. and the City of Sioux City, Iowa, dated April 24, 2017 and filed on April 25, 2017 in Roll 752, Image 4744.
6. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated May 2, 1960 and filed May 10, 1960 in Book 947, Page 385.
7. Maintenance Agreement dated May 12, 1960 and filed May 12, 1960 in Book 947, Page 415.
8. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 294.
9. Maintenance Agreement dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 288.
10. Easement for Use of Trail System, dated March 29, 2024, filed April 1, 2024 in Inst. #2024-02717.
11. All certified real estate taxes and special assessments due and payable have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: _____.

Alex S. Berendain
ATTORNEY AT LAW

AUDITOR'S APPROVAL OF SUBDIVISION NAME OR TITLE

The County Auditor hereby accepts and approves the name or title of the attached Subdivision Plat as required by Iowa Code section 354.6(2).

Dated _____.

Michelle K. Skaff, Auditor and Recorder,
Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy

AUDITOR AND RECORDER'S CERTIFICATE OF RECORDING

STATE OF IOWA :
: ss
COUNTY OF WOODBURY :

Docket No: _____

Filed for record, this _____ day of _____, _____.

at _____ o'clock _____ M. recorded in Plat Envelope _____, indexed _____ and delivered to the County Auditor of Woodbury County, Iowa.

Dated _____.

Michelle K. Skaff, Auditor and Recorder,
Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy



DGR Engineering
6115 Whispering Creek Drive
Sioux City, IA 51103
(712) 266-1954
www.dgr.com

Date: November 5, 2025
Drawn By: DAL
Project No. 275071
Sheet: 2 OF 2

Scale = 1/8"=1'-0" (See Note 1)

FINAL PLAT DISCLAIMER

The final plat may be modified—including additions or corrections to the map, certificates, or any matter shown on the face of the plat—during the review process, including from reviews by the Zoning Commission and the Board of Supervisors, up through the official recording.

ATTACHMENTS ASSOCIATED WITH THIS FINAL PLAT WILL/MAY ALSO BE ADDED AND RECORDED SEPARATELY

- DEDICATION, IF APPLICABLE
- TITLE OPINION OR UPDATED TITLE OPINION, IF APPLICABLE
- RESOLUTION FROM THE NEAREST CITY
- AGREEMENT TO IMPOSE COVENANT BASED UPON LINEAL LOT FRONTAGE, IF APPLICABLE
- MORTGAGE RESOLUTION, IF APPLICABLE
- Etc.

PLANNING AND ZONING STAFF – REVIEW CRITERIA (SUBDIVISION ORDINANCE)

The County's Zoning and Subdivision Ordinances require certain actions from County staff and the Planning and Zoning Commission. Per these requirements, Planning and Zoning staff:

shall review a subdivision application for completeness and for approval of a final plat by ensuring it is submitted in accordance with the standards for a subdivision plat per Iowa Code.

Staff reviewed the subdivision application, deemed it complete, and verified the final plat's conformance to the County's Zoning Ordinance, Subdivision Ordinance, and the Code of Iowa, all as required by law.

shall accept payment of applicable fees, and distribute copies of the final plat to the Planning & Zoning Commission, the appropriate county departments and public utilities; and

Staff received the application fee and the account is paid-in-full. Staff also distributed copies of the application, final plat, and other materials to all relevant stakeholders as required.

shall coordinate with the County Engineer who shall review the final plat to determine conformance with the engineering design standards of these regulations and to verify accuracy of the legal descriptions and survey data; and

Staff have received the review memo from the County Engineer and it has been included within this report.

shall review the final plat to determine conformance with the design standards of these regulations and with the required form of the plat and related documents; and

Staff has reviewed the final plat of this proposed subdivision plat and has determined this to be a "minor subdivision" and not a "major subdivision." Should the property owner further develop the lots, they must comply with all applicable county zoning, subdivision, engineering, and grading requirements. If the private driveway is to ever be considered for adoption into the county road system, they must work with the county engineer's office.

shall assure conformance with the goals and objectives of the County's General Plan, the CED staff may make recommendations for conditions for approval including use restrictions required to preserve and improve the peace, safety, health, welfare, comfort, and convenience of the future residents of the subdivision and neighboring properties.

The Woodbury County Comprehensive Plan 2040 ("Comp Plan") maps this property as Open Space / Recreational on the Future Land Use Map. Because the property is privately owned and not under the control of Conservation or the Iowa Department of Natural Resources, the owners may use the land consistent with the rules of the Agricultural Preservation (AP) Zoning District—or the Agricultural Estates (AE) Zoning District if a rezone is approved. Both AP and AE districts recognize open space, agricultural uses, and residential dwellings. The Comp Plan's Open Space / Recreational designation encourages expanding the county's green-space network but does not prohibit property owners from creating lots and building homes that meet zoning and development standards. The Zoning Commission and Board may impose conditions to maximize compatibility.

ZONING COMMISSION – REVIEW CRITERIA (SUBDIVISION ORDINANCE)

The County's Zoning and Subdivision Ordinances require certain actions from County staff and the Planning and Zoning Commission. Per these requirements, the Planning and Zoning Commission:

shall conduct a public hearing on a final plat for a minor subdivision. Notice of the date, time and location of the hearing will be mailed to the owners of all property within 1,000 feet for the subject property not less than four nor more than twenty days prior to the date of the hearing; and

	Staff have ensured that the legal requirements have been met for publicly noticing this public hearing, all as required by law. Staff have also ensured the notice requirement for adjacent landowners within 1000 FT have also been met.
	shall review the final plat and the staff reports and other information presented to determine whether the plat conforms to the ordinances, general plan and other policies of the county; and
	Staff have compiled, reviewed, and analyzed all relevant materials to determine whether the plat conforms to the ordinances, general plan, and other policies of the County, or not. Staff provided this information in a "Staff Report" format and made them available to the Commission well in advance of the required public hearing. The Commission also held a public hearing to review, analyze, and discuss the final plat and other relevant information.
	may recommend specific conditions for approval including use restrictions required to preserve and improve the peace, safety, health, welfare, comfort, and convenience of the future residents of the subdivision and neighboring properties; and
	Staff finds that the subdivision plat and written proposal has the opportunity to meet the applicable standards on paper. However, no application is considered complete until it has gone through the public hearing process. The public hearing is a critical step for gathering information about the project and for ensuring compatibility with existing and future neighboring properties. If deemed necessary, the Zoning Commission and Board of Supervisors may impose conditions to maximize compatibility.
	shall forward a report of its finding and a recommendation to the Board of Supervisors. The recommendation shall be in the form of a resolution to be certified as part of the final plat materials. A copy of the report and the resolution shall also be forwarded to the property owner, the subdivider and the land surveyor for the subdivision.
	During its required public hearing on the final plat, the Board of Supervisors will receive the final staff report and the Commission's recommendation on said plat and shall approve, approve with conditions, or disapprove the plat. The Supervisors may table the matter with the consent of the subdivider. Approval shall be in the form of a resolution to be certified as part of the final plat. Staff will coordinate with the subdivider and land surveyor to ensure all copies and recordings are submitted and received, all as required by law.



OFFICE OF PLANNING AND ZONING WOODBURY COUNTY

Zoning Ordinance
Section 2.02(4)
Page 1 of 8

**Rezoning Application &
Zoning Ordinance Map Amendment**

Owner Information:		Applicant Information:	
Owner <u>Doug Skinner</u>	Applicant <u>Doug Skinner</u>	Address <u>940 Quail Hollow Circle</u>	Address <u>940 Quail Hollow Circle</u>
Address <u>Dakota Dunes, SD 57049</u>	Address <u>Dakota Dunes, SD 57049</u>	Phone <u>712 251 2476</u>	Phone <u>712 251 2476</u>
Engineer/Surveyor <u>Dave Lamberton</u>		Phone <u>712 203 1323</u>	
Property Information:			
Property Address or Address Range <u>2374 252nd Hornick IA 51026</u>			
Quarter/Quarter <u>SE 1/4 - NW 1/4</u> on <u>NW 1/4 - SE 1/4</u> Sec <u>24</u> Township/Range <u>87-46</u>			
Parcel ID # <u>874624200011</u> or GIS # _____ Total Acres <u>36.5</u>			
Current Use <u>residential use</u>		Proposed Use <u>residential use</u>	
Current Zoning <u>AP</u>		Proposed Zoning <u>AE</u>	
Average Crop Suitability Rating (submit NRCS Statement) <u>103, 3E, 2G; 170 E</u>			
The filing of this application is required to be accompanied with all items and information required pursuant to section 2.02(4)(C)(2) through (C)(4) of Woodbury County's zoning ordinances (see attached pages of this application for a list of those items and information).			
A formal pre-application meeting is recommended prior to submitting this application.			
Pre-app mtg. date <u>10-16-25</u> Staff present <u>Daniel Priestley</u>			
The undersigned is/are the owner(s) of the described property on this application, located in the unincorporated area of Woodbury County, Iowa, assuring that the information provided herein is true and correct. I hereby give my consent for the Woodbury County Planning and Zoning Office and zoning commission members to conduct a site visit and photograph the subject property.			
This Rezoning Application / Zoning Ordinance Map Amendment is subject to and shall be required, as a condition of final approval, to comply with all applicable Woodbury County ordinances, policies, requirements and standards that are in effect at the time of final approval.			
Owner <u>[Signature]</u>		Applicant <u>[Signature]</u>	
Date <u>10/25/25</u>		Date <u>10/25/25</u>	
Fee: \$400 Case #: _____		<div style="border: 1px solid black; padding: 10px; margin: 0 auto; width: 150px;">RECEIVED</div> <p style="color: red; font-weight: bold; margin: 5px 0;">NOV 5 2025</p> <p>WOODBURY COUNTY PLANNING & ZONING</p>	
Check #: <u>5488</u>			
Receipt #: _____			

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**

ORDINANCE NO. ____

**A ZONING DISTRICT DESIGNATION MAPPING AMENDMENT
TO THE WOODBURY COUNTY, IOWA ZONING ORDINANCE**

WHEREAS the Board of Supervisors of Woodbury County, Iowa, adopted a Zoning Ordinance on July 22, 2008, by Resolution No. 10,455 being recorded in the Office of the Woodbury County Recorder, and

WHEREAS the Woodbury County Board of Supervisors has received a report in respect to amending the said Ordinance from the Woodbury County Zoning Commission which held a public hearing on the amendment; all as by law provided. Which the amendment is attached hereto marked item One (1), and hereby made a part hereof; and

WHEREAS the Woodbury County Board of Supervisors has received said report, studied and considered the same, and has held hearings on said amendment, all as by law provided; and

WHEREAS the Woodbury County Board of Supervisors has concluded that the said ordinance shall amend the aforesaid Zoning Ordinance;

NOW THEREFORE, BE IT RESOLVED by the Woodbury County Board of Supervisors, duly assembled, that the aforesaid Zoning District is amended as shown on said attached item One (1); and the previous zoning district designation shall be repealed upon the effective date of this amendment.

Dated this ____ day of _____, 2025.

THE WOODBURY COUNTY, IOWA BOARD OF SUPERVISORS

Daniel Bittinger II, Chairman

Mark Nelson, Vice-Chairman

Kent Carper

Attest:

David Dietrich

Michelle K. Skaff, Woodbury County Auditor

Matthew Ung

Adoption Timeline:

Date of Public Hearing and First Reading _____

Date of Public Hearing and Second Reading _____

Date of Public Hearing and Third Reading _____

Date of Adoption _____

Published/Effective Date _____

ITEM ONE (1)

Property Owner(s): Doug Skinner of Skinner Holdings LLC, 300 Centennial Dr. Ste. 295, North Sioux City, SD 57049

Petitioner Applicant(s): Doug Skinner, 940 Quail Hollow Circle, Dakota Dunes, SD 57049

Pursuant to Section 2.02:4 of the Woodbury County Zoning Ordinance, and in accordance with Section 335 of the Code of Iowa, the Woodbury County Zoning Commission held a public hearing on **November 24, 2025**, to review and make a recommendation for amendments to the Woodbury County Zoning Ordinance and Mapping for the unincorporated area of Woodbury County, Iowa as follows:

Amendment to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #874624200011 and is described as:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 26°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North 02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

**DRAFT – SUBJECT TO CHANGES THROUGHOUT THE
PUBLIC HEARINGS AND READINGS PROCESS**

Soil Map may not be valid at this scale.

Map Scale: 1:4,630 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 14N WGS84

Scale bar: 0 50 100 200 300 Meters

Scale bar: 0 200 400 800 1200 Feet

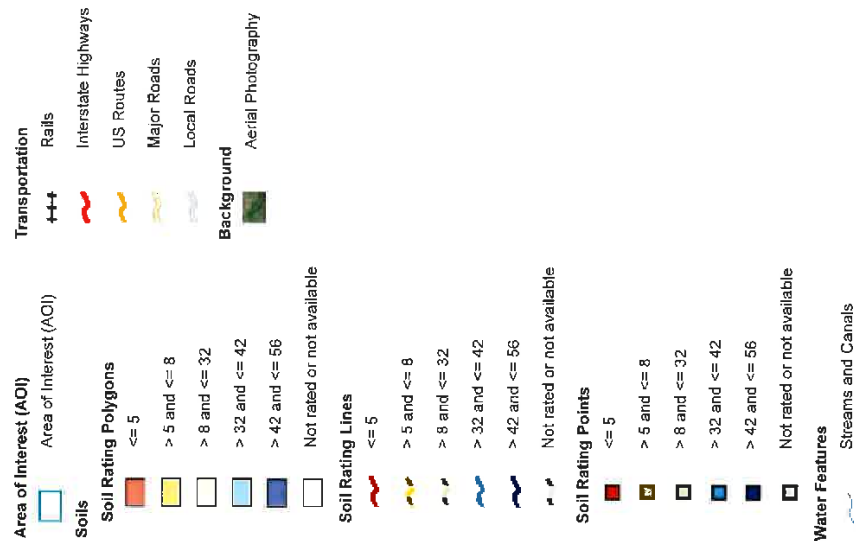
North arrow: N

Coordinates: 42° 19' 58" N, 96° 9' 41" W, 42° 20' 19" N, 96° 8' 19" W

UTM Grid: 734700, 734800, 734900, 735000, 735100, 735200, 735300, 735400, 735500, 735600, 735700

UTM Grid: 4937000, 4938000, 4939000, 4940000, 4941000, 4942000, 4943000, 4944000, 4945000, 4946000, 4947000

MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Woodbury County, Iowa
Survey Area Data: Version 35, Sep 9, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 19, 2022—Sep 20, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Iowa Corn Suitability Rating CSR2 (IA)

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	32	7.9	12.4%
1F3	Ida silt loam, 20 to 30 percent slopes, severely eroded	8	1.1	1.7%
2G	Hamburg silt loam, 40 to 75 percent slopes	5	31.3	48.9%
3E	Castana silt loam, 14 to 20 percent slopes	42	21.8	34.0%
170E	Napier-Castana silt loams, 9 to 20 percent slopes	56	1.9	3.0%
Totals for Area of Interest			64.0	100.0%

Description

This attribute is only applicable to soils in the state of Iowa. Corn suitability ratings (CSR2) provide a relative ranking of all soils mapped in the State of Iowa according to their potential for the intensive production of row crops. The CSR2 is an index that can be used to rate the potential yield of one soil against that of another over a period of time. Considered in the ratings are average weather conditions and frequency of use of the soil for row crops. Ratings range from 100 for soils that have no physical limitations, occur on minimal slopes, and can be continuously row cropped to as low as 5 for soils that are severely limited for the production of row crops.

When the soils are rated, the following assumptions are made: a) adequate management, b) natural weather conditions (no irrigation), c) artificial drainage where required, d) no frequent flooding on the lower lying soils, and e) no land leveling or terracing. The weighted CSR2 for a given field can be modified by the occurrence of sandy spots, local deposits, rock and gravel outcrops, field boundaries and noncrossable drainageways. Even though predicted average yields will change with time, the CSR2 values are expected to remain relatively constant in relation to one another over time.

Rating Options

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Higher

LEGAL DESCRIPTION:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 26°04'28" East for a distance of 838.63 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 1436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North 02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

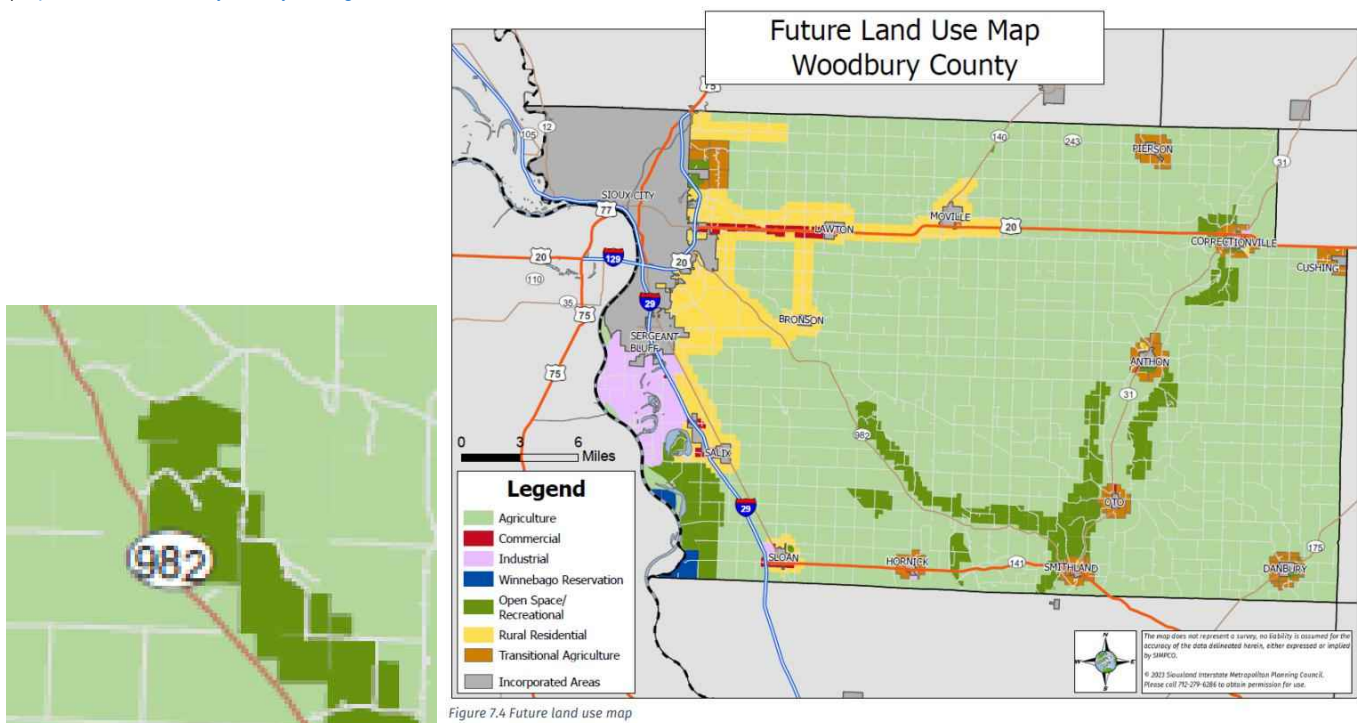
EVALUATION CRITERIA

The Zoning Commission shall base their recommendations and the Board of Supervisors shall base their decision on any requested amendment of the zoning district map on the following criteria:

Conformance with the goals and objectives set forth in the approved general development plan for Woodbury County including the future land use map.

The Woodbury County Comprehensive Plan 2040 ("Comp Plan") shows this property as Open Space / Recreational on the Future Land Use Map. That designation encourages expansion of the county's green-space network but does not transfer ownership or control to conservation authorities or the Iowa Department of Natural Resources. Because this is private property, the owners retain the right to use it consistent with the applicable zoning. If the property is rezoned to Agricultural Preservation (AP) or Agricultural Estates (AE), the owners may use the land according to the permitted uses and standards of those districts. Both AP and AE recognize open space, agricultural uses, and residential dwellings. An Open Space / Recreational future-land-use designation in the Comp Plan does not prohibit a property owner from building a house on a lot that complies with zoning and development standards.

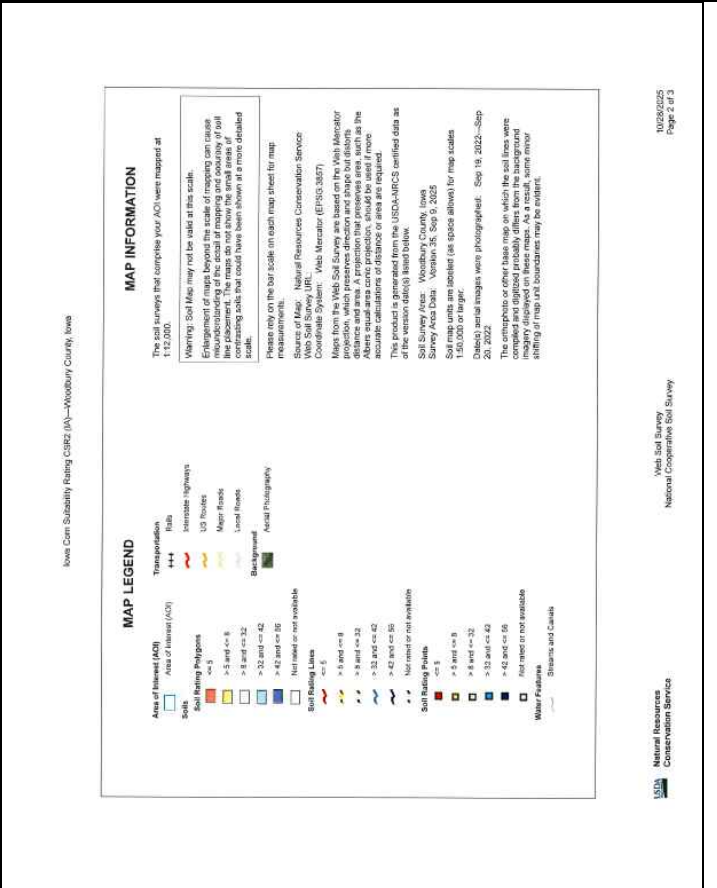
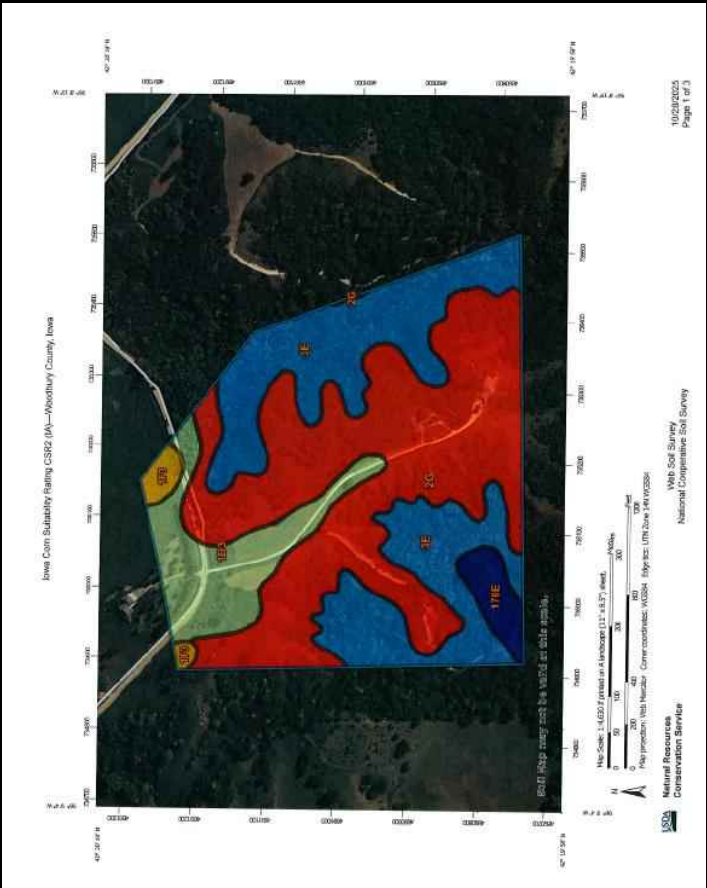
(https://www.woodburycountyiowa.gov/files/community_economic_development/woodbury_county_comprehensive_plan_2040_89417.pdf).



Compatibility and conformance with the policies and plans of other agencies with respect to the subject property.

Please review the stakeholder comments provided subsequently in the report. Additional information may become available once the public hearing process begins and is not included here. The Woodbury County Soil and Water Conservation District (WCSWCD), represented by Neil Stockfleth (11/6/25), stated: "The WCSWCD wishes to point out that this parcel is currently zoned AP and this designation should be retained as part of the protected Loess Hills landform. The WCSWCD has no other comments."

Consideration of the Corn Suitability (CSR) of the property.



Iowa Corn Suitability Rating CSR2 (IA)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
1D3	Ma silt loam, 9 to 14 percent slopes, severely eroded	32	7.9	12.4%
1F3	Ma silt loam, 20 to 30 percent slopes, severely eroded	8	1.1	1.7%
2G	Hamburg silt loam, 40 to 75 percent slopes	5	31.3	48.9%
3E	Castana silt loam, 14 to 20 percent slopes	42	21.8	34.0%
170E	Napier-Castana silt loams, 9 to 20 percent slopes	56	1.9	3.0%
Totals for Area of Interest			64.0	100.0%

Description

This attribute is only applicable to soils in the state of Iowa. Corn suitability ratings (CSR2) provide a relative ranking of all soils mapped in the State of Iowa according to their potential for the intensive production of row crops. The CSR2 is an index that can be used to rate the potential yield of one soil against that of another over a period of time. Considered in the ratings are average weather conditions and frequency of use of the soil for row crops. Ratings range from 100 for soils that have no physical limitations, occur on minimal slopes, and can be continuously row cropped to as low as 5 for soils that are severely limited for the production of row crops.

When the soils are rated, the following assumptions are made: a) adequate management, b) natural weather conditions (no irrigation), c) artificial drainage where required, d) no frequent flooding on the lower lying soils, and e) no land leveling or terracing. The weighted CSR2 for a given field can be modified by the occurrence of sandy spots, local deposits, rock and gravel outcrops, field boundaries, and noncrossable drainageways. Even though predicted average yields will change with time, the CSR2 values are expected to remain relatively constant in relation to one another over time.

Rating Options

Aggregation Method: No Aggregation Necessary
Tie-break Rule: Higher

Iowa Corn Suitability Rating CSR2 (IA) - Woodbury County, Iowa				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
1D3	Ma silt loam, 9 to 14 percent slopes, severely eroded	32	7.9	12.4%
1F3	Ma silt loam, 20 to 30 percent slopes, severely eroded	8	1.1	1.7%
2G	Hamburg silt loam, 40 to 75 percent slopes	5	31.3	48.9%
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Rating Options

Aggregation Method: No Aggregation Necessary
Tie-break Rule: Higher

	<p>Based on the attached Iowa Corn Suitability Rating CSR2 (IA) report dated 10/28/2025, this property consists of approximately five soil map units with the following CSR2 values and areas</p> <ul style="list-style-type: none"> • Ida silt loam, 14 to 20 percent slopes, severely eroded (1D3) CSR2: 32 Acres: 7.9 12.4% of total • Ida silt loam, 20 to 30 percent slopes, severely eroded (1F3) CSR2: 8 Acres: 1.1 1.7% of total • Hamburg silt loam, 40 to 75 percent slopes (2G) CSR2: 5 Acres: 31.3 48.9% of total • Castana silt loam, 14 to 20 percent slopes (3E) CSR2: 42 Acres: 21.8 34.0% of total • Napier-Castana silt loams, 9 to 20 percent slopes (170E) CSR2: 56 Acres: 1.9 3.0% of total
	<p>Compatibility with adjacent land uses.</p>
	<p>The Woodbury County Comprehensive Plan 2040 ("Comp Plan") designates this parcel as Open Space / Recreational on the Future Land Use Map to encourage expansion of the county's green-space network. That designation is policy guidance only and does not change ownership or transfer control to conservation authorities or the Iowa Department of Natural Resources. Because the parcel is privately owned, the owners retain the ability to use it consistent with applicable zoning, including for residential purposes. The Agricultural Preservation (AP) and Agricultural Estates (AE) zoning districts both allow open space, agricultural uses, and residential dwellings. AE preserves many AP characteristics but permits additional single-family dwellings within a quarter-quarter section (40 acres), which can support the Comp Plan's housing goals. If the property is rezoned from AP to AE, owners may use the land according to the permitted uses and standards of those districts. Accordingly, the Comp Plan's Open Space / Recreational designation alone does not prohibit construction of residences on lots that complies with zoning and development standards.</p>
	<p>Compatibility with other physical and economic factors affecting or affected by the proposed rezoning.</p>
	<p>Based on the materials provided, the parcel meets the basic criteria for consideration of a rezone from AP to AE, and the subdivision plat and lot configuration can satisfy the minimum requirements. Please review the stakeholder comments in this report. Additional information may emerge during the public hearing process, so continued information gathering is important.</p>
	<p>Any other relevant factors.</p>
	<p>Please read through stakeholder comments in this report. This process is required in conjunction with the minor subdivision procedure.</p>

beginning at the center quarter corner of said Section 24, thence South 87°30'49" East along the line of the SE1/4 of said Section 24 for a distance of 351.35 feet, thence North 26°45'28" East for a distance of 839.62 feet, thence South 03°30'42" West for a distance of 500.00 feet to the corner line of the NW1/4-SE1/4 of said Section 20, thence North 87°31'11" West along said south line for a distance of 728.82 feet to the south line of said NW1/4-SE1/4, thence North 24°54'56" West for a distance of 419.36 feet to the north line of the NW1/4-SE1/4, thence North 61°45'00" West along said north line for a distance of 319.26 feet, thence North 02°48'03" East for a distance of 301.11 feet to the beginning of said NW1/4. Stock shown



Orange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office, thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said centerline for a distance of 213.82 feet; thence North 68°29'30" East along said centerline for a distance of 160.55 feet; thence North 74°44'40" East along said centerline for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'36" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

Item Three (3)

MINOR SUBDIVISION

PROPOSED MINOR SUBDIVISION: To be known as 252nd Overlook. Doug Skinner of Skinner Holdings LLC has submitted an application for a minor subdivision. The proposed minor subdivision, named 252nd Overlook, is for a 96.50-acre portion of the property including up to five (5) lots located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #674624200011. The property is situated at 2374 252nd St., Homick, IA 51026, approximately six miles south of Bronson, seven miles east of Osak and seven miles north of Homick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. Additionally, Doug Skinner (Skinner Holdings LLC) has applied for a Zoning Ordinance Map Amendment to rezone the aforementioned property from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District. This rezoning is proposed to accommodate the future development of the lots, which is required under Section 5.01.1 B of the Woodbury County Zoning Ordinance.

OOL-1A-502532

**NOTICE REGARDING PUBLIC
HEARINGS BEFORE THE
WOODBURY COUNTY BOARD OF
SUPERVISORS FOR A ZONING
ORDINANCE MAP AMENDMENT
(REZONE) FROM THE
AGRICULTURAL PRESERVATION
(AP) ZONING DISTRICT TO THE
AGRICULTURAL ESTATES (AE)
ZONING DISTRICT**

The Woodbury County Board of Supervisors will conduct public hearings and ordinance readings to consider the proposed zoning ordinance map amendment (rezone), as detailed below, on Tuesday, December 9, 2025, at 4:40 PM, Tuesday, December 16, 2025, at 4:40 PM, and Tuesday, December 23, 2025, at 4:40 PM, or as soon thereafter as the matter may be heard. Pursuant to Iowa Code Section 331.302, the Board of Supervisors may waive the second and third hearings and readings if deemed appropriate.

These hearings and ordinance readings will take place in the Board of Supervisors' meeting room, located in the basement of the Woodbury County Courthouse, 620 Douglas Street, Sioux City, Iowa. Interested individuals may attend in person to provide comments.

Copies of the proposed amendments are available for public inspection at the Woodbury County Auditor's Office, Woodbury County Courthouse, 620 Douglas Street, Sioux City, Iowa during normal business hours of Monday through Friday, 8:00 AM to 4:30 PM. If adopted, the ordinance will become effective upon publication of this summary or the complete text of the ordinance following final passage by the Board of Supervisors, unless a subsequent effective date is specified in the ordinance.

Written comments may be submitted by mail or email to: Woodbury County Community and Economic Development, 6th Floor, Woodbury County Courthouse, 620 Douglas St., Sioux City, IA 51101, or to Daniel Priestley at dpriestley@woodburycountyia.gov. For inquiries, contact Daniel Priestley at 712-279-8609.

All individuals wishing to provide input are encouraged to attend and participate in the scheduled hearing(s).

CONSIDERATION OF A ZONING ORDINANCE MAP AMENDMENT (REZONE) FROM THE AGRICULTURAL PRESERVATION (AP) ZONING DISTRICT TO THE AGRICULTURAL ESTATES (AE) ZONING DISTRICT

TITLE: A ZONING DISTRICT DESIGNATION MAPPING AMENDMENT TO THE WOODBURY COUNTY, IOWA ZONING ORDINANCE

Pursuant to Section 335 of the Code of Iowa, the Woodbury County Board of Supervisors will hold public hearings and ordinance readings to consider the application for a zoning ordinance map amendment (rezone) to the Woodbury County Zoning Ordinance and/or Map for the Unincorporated Area of Woodbury County Iowa by Doug Skinner of Skinner Holdings LLC, 300 Centennial Dr. Ste. 295, North Sioux City, SD 57049.

The proposal is to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #874624200011 and is described as:

Those portions of the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the Center quarter corner of said Section 24; thence South 87°56'49" East along the north line of the SE1/4 of said Section 24 for a distance of 361.35 feet; thence South 28°04'28" East for a distance of 838.69 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the NW1/4-SE1/4 of said Section 24; thence North 87°31'11" West along said south line for a distance of 728.62 feet to the southwest corner of said NW1/4-SE1/4; thence North 24°54'36" West for a distance of 436.51 feet to the north line of the NE1/4-SW1/4 of said Section 24; thence North 88°17'08" West along said north line for a distance of 318.36 feet; thence North

02°46'05" East for a distance of 520.11 feet to the centerline of 252nd Street (formerly Grange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office; thence South 47°08'00" East along said centerline for a distance of 64.54 feet; thence South 60°47'11" East along said center line for a distance of 213.82 feet; thence North 88°29'33" East along said center line for a distance of 160.55 feet; thence North 74°44'40" East along said center line for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°06'26" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

Petitioner Applicant(s): Doug Skinner, 940 Quail Hollow Circle, Dakota Dunes, SD 57049.

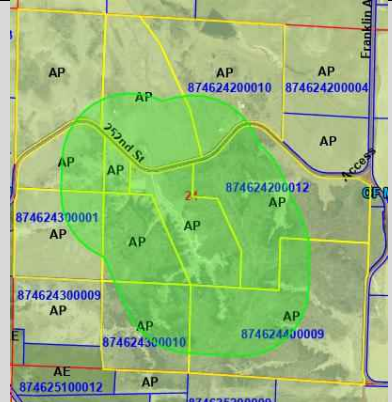
This zoning ordinance map amendment does not impose any new fines, penalties, forfeitures, fees, or taxes beyond those already in the existing zoning ordinance.

GOL-IA-502592

PUBLIC COMMENTS RECEIVED AFTER PACKET DISTRIBUTION

Public comments submitted after the initial packet distribution will still be accepted for the public record. Such comments will continue to be collected and will be requested for inclusion in the public record at the meeting when the related agenda item is considered, so the Board of Supervisors can review them.

PROPERTY OWNER(S) NOTIFICATION

Total Property Owners within 1000 FT via Certified Abstractor's Listing:	8	
Notification Letter Date:	November 10, 2025	
Public Hearing Board:	Zoning Commission (Rezone & Subdivision). The subdivision is an agenda item only before the Board of Supervisors scheduled for December 23.	
Public Hearing Date:	November 24, 2025 (Zoning Commission), December 9, 16, 23 (Board of Supervisors)	
Phone Inquiries:	Gary McMullin (SEE BELOW) William Burrows (11/26/25) - Wanted to know where it was, how many acres, and the intended use(s).	
Written Inquiries:	SEE BELOW	
The names of the property owners are listed below.		
When more comments are received after the printing of this packet, they will be provided at the meeting.		

PROPERTY OWNER(S)	MAILING ADDRESS					COMMENTS
Skinner Holdings, LLC	300 Centennial Drive, Suite 295	North Sioux City	SD	57049		No comments.
Monona Land Restoration, LLC	5414 Gordon Drive	Sioux City	IA	51106		No comments.
EAT Monona Land Restoration, LLC	5414 Gordon Drive	Sioux City	IA	51106		No comments.
Habitat Restoration Services, LLC	5414 Gordon Drive	Sioux City	IA	51106		No comments.
Aimee M. Krogh	2381 Port Neal Road	Sergeant Bluff	IA	51054		No comments.
Doug K. Miller and Kathy Miller	2341 240th Street	Hornick	IA	51026		No comments.
Gary W. McMullen and Darlynn McMullen	2375 252nd Street	Hornick	IA	51026		Phone inquiry on November 13 about the project. In-person office visit on November 17. Concerned with how the property owner(s) intend to use the property. Not enough information has been provided. Concerned about impact on the area. WRITTEN COMMENTS PROVIDED BELOW
Chad Brady and Mary Brady	2389 252nd Street	Hornick	IA	51026		WRITTEN COMMENTS PROVIDED BELOW

Daniel Priestley

From: Chad Brady <chadmarybrady@gmail.com>
Sent: Tuesday, November 18, 2025 8:46 PM
To: Daniel Priestley
Subject: Re: Comments Requested for Subdivision and Rezone - 2374 252nd St., Hornick, IA (Parcel # 874624200011)

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

Hi Dan.

I am a home/landowner near the proposed 252nd Overlook subdivision proposal by Doug Skinner. I am NOT in favor of this subdivision and have numerous concerns and questions.

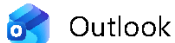
What is the impact on the loess hill formations with a housing development on its steep hillsides; the impact on old highway 141 scenic byway; the addition of potential 4 residential homes on a gravel road with a steep incline leading to the development (252nd street is not maintained or built up like most secondary roads in Woodbury county); impact of 4 additional wells to the aquifers especially during drought seasons; if the 252nd Overlook development is just "phase 1" and additional subdivisions will be granted to the property owner; the impact on wildlife habitat (bobcats, turkey, deer, etc) with housing developments in a heavy timbered area; the development of land unique to the county that is dominated by cropland; additional housing to a peaceful, remote area to home and land owners that have invested in land greater than 50 acres; impact to area cattle farmers on their pasture land with a housing development next to their farms; the potential changes to property values, and increased tax rates to neighboring home/land owners who already pay rates that have increased dramatically the last few years.

I believe those least impacted (county officials interested in collecting potential tax revenue, developers who do not reside in the area only interested in making money) are in favor of this development but those who it most impacts (neighboring home and land owners invested in the area) are not in favor.

I plan to attend the meeting on the 24th but wanted to make sure my views on the development were known if I did not make it back to Sioux City in time.

Thank you,

Chad and Mary Brady
2389 252nd Street



Proposal for rezoning GIS Parcel #87462420001

From Jim Thomas <jjthomas10@gmail.com>
Date Thu 11/20/2025 5:25 PM
To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

Proposal for rezoning GIS Parcel #87462420001

Attn: Dan Priestley

My name is Jim Thomas. – I live across the valley from this zoning proposal. Depending on the height of the houses, you would be able to see them across the valley from me. I moved to a small 2 ½ acre plot of land back in 2000. It wasn't easy to find an acreage because most of the area was zoned AP (Agricultural Preservation). The AP designation only allowed a limited number of houses per section. It is the reason I moved to my current property.

It is my understanding that the focus of Agricultural Preservation (AP Zoning) is to preserve the "rural character of the area". This parcel is located in a remote area that offers incredible scenic views from one of the highest points in Woodbury County. These views are currently accessible to anyone from the road.

The proposal to zone this as an Agricultural Estate would block these views and make them only accessible to the people who build houses on proposed Lots 1 & 2. While this may benefit the seller and owners of these lots, it would not preserve the "rural character of the area". It would dramatically change the character of the land and the area.

I completely understand why someone would want to develop this area, as it would command a premium price due to the views. I also appreciate the desire for more tax revenue. I would ask that you deny this rezoning request and preserve the "rural character of the area". It is why people build in this area. As the property currently sits, it preserves the land's character and allows the owner and people driving down the road to enjoy an incredible view of Woodbury County and the Loess Hills. Rezoning this property as an Agricultural Estate would make it more like a subdivision, and if that is what people want, we have plenty of those in the cities of Woodbury County.

I plan to attend the meeting and raise other issues for consideration, but I wanted to get something in writing in case my schedule doesn't work out.

Sincerely,

Reverend James G Thomas Jr.
Pastor at Holly Springs Bible Fellowship
2407 Franklin Ave
Hornick, IA 51026

--

Jim Thomas
Holly Springs Bible Fellowship

RECEIVED

NOV 21 2025

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezone) application filed by Doug Skinner of Skinner Holdings LLC. The proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated on 252nd Street, Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

WE STATE OR BELIEVE:

1. That the petitioners own and/or reside on land bordering or within five miles of the proposed minor subdivision.
2. That 252nd Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed minor subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
4. That future development of the lots will decrease enjoyment of the Loess Hills by those who live in them and by those who travel the Loess Hills National Scenic Byway for enjoyment.
5. That future development of the lots will increase land value and, therefore, increase property taxes for current residents.
6. That the construction of new wells for homes in the minor subdivision may negatively affect the water table in the area.
7. That future development of the lots will put additional strain on county services such as fire and police protection.
8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11/20/2025	<i>Michael J. Mooney</i>	Michael J. Mooney	2299 County Rd. D-25 Hornick, IA
11/20/2025	<i>Angela Mooney</i>	Angela Mooney	2299 County Rd D-25 Hornick IA
11/20/2025	<i>David J. Cholewicki</i>	David J. Cholewicki	252nd St Hornick IA
11/20/2025	<i>Theresa Cholewicki</i>	Theresa Cholewicki	252nd St Hornick IA
11/20/2025	<i>Debra Widman</i>	Debra Widman	2311 CR D-25 Hornick IA
11/20/2025	<i>Maddie Widman</i>	Maddie Widman	2311 CR D-25 Hornick IA
11-20-2025	<i>Dwight Jenkins</i>	Dwight Jenkins	2321 Co Rd D-25 Hornick Ia.
11-20-2025	<i>Helen Jenkins</i>	Helen Jenkins	2321 County Rd D-25 Hornick, IA
11-20-2025	<i>Robert J. Heintz</i>	Robert J. Heintz	2339 county Rd D-25 Hornick IA

Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezone) application filed by Doug Skinner of Skinner Holdings LLC. The proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated at 2374 252nd Street, Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

WE STATE OR BELIEVE:

1. That the petitioners own and/or reside on land bordering or within five miles of the proposed minor subdivision.
2. That 252nd Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed minor subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
4. That future development of the lots will decrease enjoyment of the Loess Hills by those who live in them and by those who travel the Loess Hills National Scenic Byway for enjoyment.
5. That future development of the lots will increase land value and, therefore, increase property taxes for current residents.
6. That the construction of new wells for homes in the minor subdivision may negatively affect the water table in the area.
7. That future development of the lots will put additional strain on county services such as fire and police protection.
8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11-20-25	<i>Aaron F. Fox</i>	AARON F. FOX	2470 270 ST
11-20-25	<i>Cynthia Fox</i>	CYNTHIA FOX	2470 270TH ST. HORNICK IA
11/20/25	<i>James Thomas</i>	James Thomas	2407 Franklin Hornick, IA
11/20/25	<i>Leah Kolbaum</i>	Leah Kolbaum	2308 Deer Run Trl Hornick IA
11-20-25	<i>Roger Cape</i>	Roger Cape	2222 240 th St Hornick IA
11-20-25	<i>Roger Cape</i>	Roger Cape	2222 240 th St Hornick IA
11-20-25	<i>Cathy Williams</i>	Cathy Williams	2201 Old Highway 141 Hornick IA
11-20-25	<i>Larkia Beapelt</i>	Larkia Beapelt	2243 CL D2S Hornick, IA 51026
11-20-25	<i>Tyler Reiter</i>	Tyler Reiter	2245 ERD 25 Hornick, IA 51026

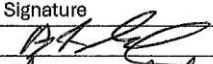
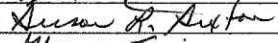
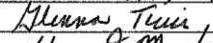






Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezone) application filed by Doug Skinner of Skinner Holdings LLC. The proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated at 2374 252nd Street, Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

WE STATE OR BELIEVE:

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2. That 252nd Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed minor subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
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8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11-20-25		Byron Sexton	2413 Old Hwy 141, Hornick IA
11-20-2025		Susan L. Sexton	2413 Old Hwy 141, Hornick IA
11-20-2025		Glenn Tevis	2539 Old Hwy 141, Hornick IA 51026
11-20-2025		Edwin D. Myrtac	2240 Old Hwy 141, Hornick Ia 51026
11-20-25		Carolyn Sylsberger	2381 Old Hwy 141, Hornick IA 51026
11-20-25		Roger S. Sylsberger	2381 Old Hwy 141, Hornick IA 51026
11-20-25		Carla Tevis	2537 Old Hwy 141, Hornick IA 51026
11-20-25		Bruce Tevis	2537 Old Hwy 141, Hornick, Ia 51026
11-20-25		Gary McMullen	2375 252 nd St. Hornick, Ia 51026

Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

Page 3 of 7

Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

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8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11-20-25	Robin Beem	Robin Beem	2829 Grundy Ave, Hornick, IA 51026
11-20-25	Jesse Beem	Jesse Beem	2829 Grundy Ave, Hornick, IA 51026
11/20/25	Colton Beem	Colton Beem	2605 290th Hornick IA 51026
11/20/2025	Linda Phillips	Linda Phillips	2641 Franklin Ave, Hornick, Ia 51026
11/20/2025	Deborah C. Salsberger	Deborah C. Salsberger	2587 Franklin Ave Hornick, IA 51026
11/20/2025	Amy Salsberger-Sattler	Amy Salsberger-Sattler	2755 Grundy Ave Hornick IA 51026
11/20/25	Casey Benton	Casey Benton	2755 Grundy Ave Hornick IA 51026
11/20/2025	Charles Sattler	Charles Sattler	2755 Grundy Ave Hornick IA 51026

Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

Page 5 of 7

Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

WE, THE UNDERSIGNED, HEREBY PETITION the Woodbury County (Iowa) Planning and Zoning Commission to deny a five-lot minor subdivision application and a Zoning Ordinance Map Amendment (Rezone) application filed by Doug Skinner of Skinner Holdings LLC. The proposed minor subdivision, named the 252nd Overlook, is for a 36.50-acre property known as GIS Parcel #87462420001. The property is situated at 2374 252nd Street, Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd street. The application to rezone from Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District is proposed to accommodate the future development of the lots, which is required under Section 3.01.1B of the Woodbury County Zoning Ordinance. The maps on the attached page show the boundaries of the property to be used for this minor subdivision.

WE STATE OR BELIEVE:

1. That the petitioners own and/or reside on land bordering or within five miles of the proposed minor subdivision.
2. That 252nd Street is a steep, winding, gravel, dusty, minimally-maintained road that cannot handle the traffic of the proposed minor subdivision.
3. That additional traffic on Old Highway 141 to access the minor subdivision will negatively affect the condition of the road.
4. That future development of the lots will decrease enjoyment of the Loess Hills by those who live in them and by those who travel the Loess Hills National Scenic Byway for enjoyment.
5. That future development of the lots will increase land value and, therefore, increase property taxes for current residents.
6. That the construction of new wells for homes in the minor subdivision may negatively affect the water table in the area.
7. That future development of the lots will put additional strain on county services such as fire and police protection.
8. That the proposed subdivision endangers the fragility of the Loess Hills through leveling, compacting, and restructuring of the soil.

Signatures:

Date	Signature	Printed Name	Address
11/20/25	Joe Kopal	Joe Kopal	2316 240 th Hornick, IA
11/20/25	Shawn Miller	Taylor Miller	2198 Deer Run Trail Hornick, IA
11-20-25	Doug Miller	Doug Miller	2341 240 th St
11-20-25	Chris Krenke	Chris Krenke	2470 Franklin Ave Hornick IA
11-20-25	Sam Krenke	Sam Krenke	2470 Franklin Ave Hornick IA
11-20-25	Wendy McMillen	Dar Lynn McMillen	2375 252 nd St., Hornick, IA

Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

Page 4 of 7

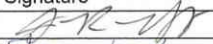



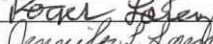
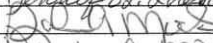
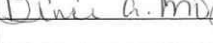

Petition to the Woodbury County (Iowa) Planning and Zoning Commission
for their meeting on November 24, 2025

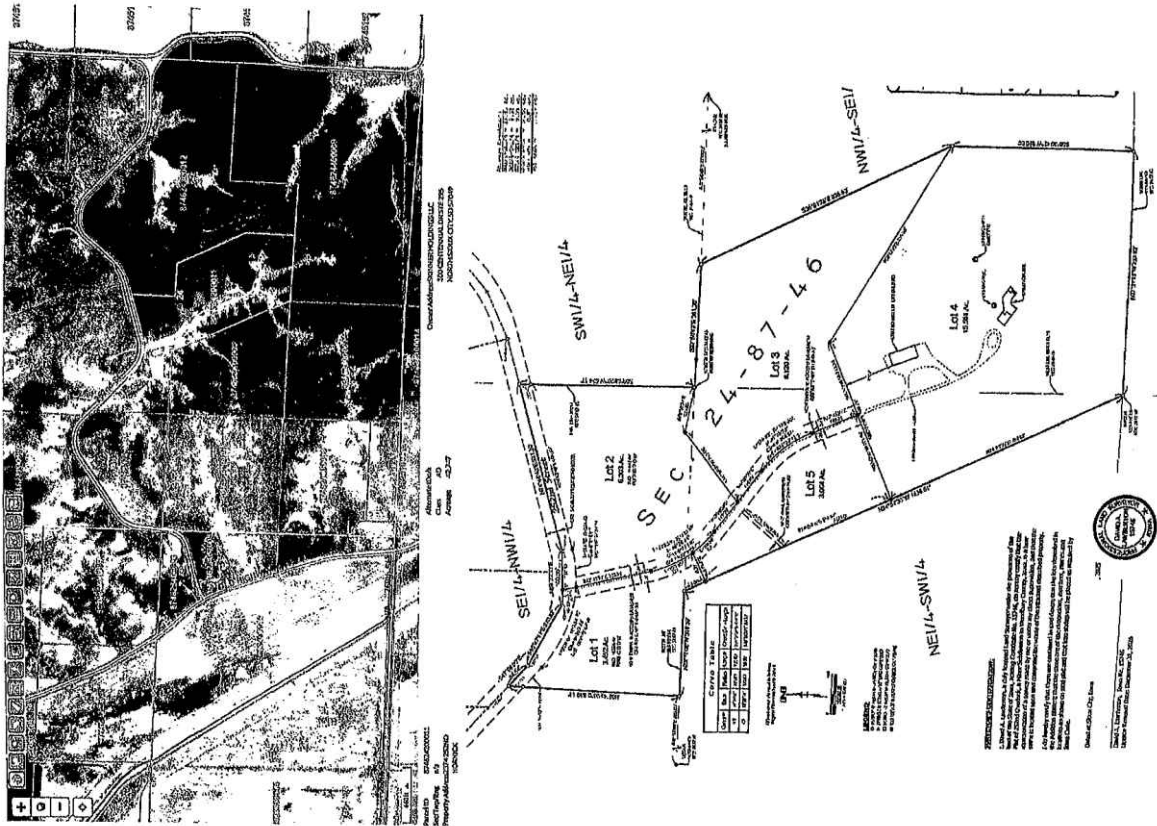
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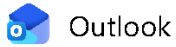
Date	Signature	Printed Name	Address
11/20/25		Jason Yockey	2223 240 th STREET HORNICK IA 51026
11-20-25		Shauna Yockey	2223 240 th St Hornick IA 51026
11-20-25		Mary Brady	2389 252 nd St Hornick, IA 51026
			
11/20/25		ROGER LORENZEN	2303 County Rd D25 Hornick IA 51026
11/20/25		Jennifer Lorenzen	2303 County Rd D25 Hornick, Ia. 51026
11/20/25		Gabe A Modlin	2317 County Rd D25 Hornick IA 51026
11-20-25		Denise A Modlin	2317 County Rd D25 Hornick IA 51026



Attachment to the Petition to the Woodbury County Planning and Zoning Commission

Petition circulator: Gary McMullen; 2375 252nd St.; Hornick, Iowa 51026

Page 7 of 7




Skinner property comments

From Richard Pope <ropope1951@gmail.com>

Date Fri 11/21/2025 11:43 AM

To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

 1 attachment (15 KB)

Comments on the SKinner tract proposal.docx;

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

I have attached some comments for consideration by the Zoning board.

Thank you

These comments are s in regard to the proposal to subdivide the Skinner property, 2374 252nd St. Hornick.

I am Rich Pope, a resident of Sloan. These comments are my personal thoughts about the proposed activity, and do not reflect any organizations I am affiliated with, particularly the Woodbury County Conservation Foundation board and the Exec. Committee of the Loess Hills Alliance. I am a retired agronomist with a degree and subsequent career experience in soil management and soil morphology and genesis related to land use.

I am specifically troubled by extensive development in the front range of the loess hills landform. I realize that from the casual observer areas like this site have little value other than natural areas/hunting ground and with its location can be attractive as housing sites. I

This site consists of predominantly fragile soils. I caution reviewers to not pay close attention to the CSR2 ratings on the site, which only have value in evaluating soils for corn (and soybean) production. Obviously, this site is not appropriate for crop production, other than the existing wildlife food plots. The CSR2 rating system is primarily designed as a tool to help assessors to evaluate land for tax purposes, but CSR2 has been appropriated by realtors for private land sales and hence, assessing artificial “value” based on suitability for crop production. But land areas have other values that are more appropriate to consider.

A significant portion of the area is mapped as Hamburg silt loam and Ida silt loam. Both are Typic Udorthents, which means the erosion of surface materials limits soil development geologically. Slopes range from 14 to more than 80 percent, and the soils formed in loess. Loess is a well sorted, wind-deposited deposit that loses strength and will severely erode if water flow is concentrated and the loess becomes saturated. As an example, look at the recent South Cornelia street failure from piping and channeling from a broken main in Sioux City. That means that the area can be quickly degraded by any intensive development. And once a small subdivision is established, expansion can involve more of these fragile areas that once lost cannot be reclaimed. This Skinner site features a prairie ecosystem that since European settlement has undergone the influx of trees and shrubs. However, the prairie community present is still there and is part of the loess hills landform, the largest remaining prairie area in Iowa.

In my opinion, development in Woodbury County should be extremely limited especially within the first mile or two of the loess bluffs on the western side of the landform (Missouri River valley). This zone is where the most steep and fragile soil areas exist.

I encourage the board to deny the zoning change for this tract.

Skinner (5) lot minor subdivision

From Gary McMullen <1966duece.gm@gmail.com>

Date Fri 11/21/2025 7:54 PM

To Daniel Priestley <dpriestley@woodburycountyiowa.gov>

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**

Hi Dan

My name is Gary McMullen I reside at 2375 252nd St. Hornick IA. My property is directly across the street from the proposed 252nd Overlook (5) lot minor subdivision submitted by Doug Skinner of Skinner Holdings LLC. We are strongly opposed to minor subdivision and zoning map amendment (rezone).

We feel the Loess Hills unique landform should be left alone so everyone can enjoy. This (5) lot minor subdivision will be seen from the Loess Hills National Scenic Byway.

This proposed subdivision is on a poorly maintained gravel road with a very steep incline. I believe this road will continue to deteriorate with the increased traffic flow.

This area known as Little Egypt is a unique landscape admired by many and should be preserved.

I sent this email a couple days ago and did not realize it did not get to you. I know it is late but wanted to resend anyway.

Sincerely

Gary and Darlynn McMullen
2375 252nd St., Hornick IA 51026
.

STAKEHOLDER COMMENTS

911 COMMUNICATIONS CENTER:	No comments received.
CITY OF LAWTON:	No comments received.
FIBERCOMM:	No comments received.
IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR):	No comments received.
IOWA DEPARTMENT OF TRANSPORTATION (IDOT):	No comments received.
LOESS HILLS NATIONAL SCENIC BYWAY:	SEE LETTER FROM NOVEMBER 21, 2025 BELOW:
LOESS HILLS PROGRAM:	No comments received.
LONGLINES:	No comments received.
LUMEN:	No comments received.
MAGELLAN PIPELINE:	No comments received.
MIDAMERICAN ENERGY COMPANY (Electrical Division):	I have reviewed the proposed minor subdivision for MEC electric and it's not in our service territory, we have no comments. – Casey Meinen, 11/12/25.
MIDAMERICAN ENERGY COMPANY (Gas Division):	No comments received.
NATURAL RESOURCES CONSERVATION SERVICES (NRCS):	No comments received.
NORTHERN NATURAL GAS:	No comments received.
NORTHWEST IOWA POWER COOPERATIVE (NIPCO):	Have reviewed this Subdivision Rezone. NIPCO has no issues with this request. – Jeff Zettel, 11/12/25.
NUSTAR PIPELINE:	No comments received.
SIOUXLAND DISTRICT HEALTH DEPARTMENT:	No comments received.
WIATEL:	No comments received.
WINNEBAGO TRIBE:	No comments received.
WOODBURY COUNTY ASSESSOR:	No comments received.
WOODBURY COUNTY AUDITOR:	No comments received.
WOODBURY COUNTY CONSERVATION:	No comments received.
WOODBURY COUNTY EMERGENCY MANAGEMENT:	No comments received.
WOODBURY COUNTY EMERGENCY SERVICES:	No comments received.
WOODBURY COUNTY ENGINEER:	SEE REVIEW MEMO BELOW FROM NOVEMBER 19, 2025
WOODBURY COUNTY RECORDER:	No comments received.
WOODBURY COUNTY RURAL ELECTRIC COOPERATIVE (REC):	No comments received.
WOODBURY COUNTY SHERIFF:	No comments received.
WOODBURY COUNTY SOIL AND WATER CONSERVATION DISTRICT:	The WCSWCD wishes to point out that this parcel is currently zoned AP and this designation should be retained as part of the protected Loess Hills landform. The WCSWCD has no other comments.
WOODBURY COUNTY TREASURER:	2nd half of 2024 taxes are due and would need to be paid prior to the treasurer's certification. The amount owing is approximately \$4,593.00. – Tina Bertrand, 11/12/25.



P.O. BOX 189
OAKLAND, IOWA 51560

P: 712.482.3029
F: 712.482.5590

WWW.GOLDENHILLSRCD.ORG

November 21, 2025

Woodbury County Zoning Commission,

I am writing on behalf of the Loess Hills National Scenic Byway™ about the proposed development at 2374 252nd Street, Hornick, IA (Parcel #874624200011) and application to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District in Woodbury County.

The Loess Hills are a distinctive and important landform in western Iowa, recognized for their ecological, scenic, and cultural significance. The parcel under consideration for rezoning is located within the Luton Special Landscape Area of the Loess Hills landform. Special Landscape Areas are locations identified for their notable natural or scenic characteristics and are intended to receive heightened consideration in land-use decisions. While this area is privately owned and primarily used for agricultural purposes, it remains an uncommon landscape type within Woodbury County. Residents living near the site have contacted our organization to express concerns regarding potential development and its effects on the broader Loess Hills landform.

This parcel also falls within the viewshed of the Loess Hills National Scenic Byway along Old Highway 141. According to the Corridor Management Plan, scenic quality is a defining intrinsic characteristic of the Byway, shaped by both natural features—such as landform, vegetation, and open vistas—and human-made elements that reflect the region’s rural heritage. Public surveys, visual perception studies, and viewshed mapping completed during the Byway’s planning process consistently identify several qualities that travelers value: long or unobstructed sight distances, undeveloped ridgelines, prairie vegetation, varied land cover, and minimal visual interruption within prominent viewpoints. These findings guide land-use strategies intended to preserve and enhance the scenic character of the Byway corridor.

Given these considerations, we respectfully recommend that the Woodbury County Zoning Commission evaluate how rezoning and future development on this parcel may affect both the ecological features of the Loess Hills and the scenic resources identified in the Corridor Management Plan of the Loess Hills National Scenic Byway. Responsible land-use decisions within the Byway viewshed play an important role in maintaining the landscape characteristics that residents, visitors, and local governments have indicated are most valued.

Sincerely,

Seth A Brooks

Seth Brooks
Byway Coordinator, Loess Hills National Scenic Byway

RE: Comments Requested for Subdivision and Rezone - 2374 252nd St., Hornick, IA (Parcel #874624200011)

From: Seth Brooks <seth.brooks@goldenhillsrccd.org>
Date: Fri 11/21/2025 3:57 PM
To: Daniel Priestley <dpriestley@woodburycountyia.gov>

1 attachment (234 KB)
LHNSB Hornick Rezoning Comments.pdf;

CAUTION: This email originated from **OUTSIDE** of the organization. Please verify the sender and use caution if the message contains any attachments, links, or requests for information as this person may NOT be who they claim. **If you are asked for your username and password, please call WCICC and DO NOT ENTER any data.**
Daniel,

The email below says comments are due by November 17, but I heard some another person that comments were due at 4:00pm today. If comments are still being accepted for this hearing, but consider the attached.

Thank you.

Seth Brooks
Project Coordinator
[Golden Hills RC&D](#)
712 South Highway Street
PO Box 189
Oakland, IA 51560
(712) 482-3029
seth.brooks@goldenhillsrccd.org



From: Daniel Priestley <dpriestley@woodburycountyia.gov>
Sent: Wednesday, November 12, 2025 8:34 AM
To: Daniel Priestley <dpriestley@woodburycountyia.gov>
Subject: Comments Requested for Subdivision and Rezone - 2374 252nd St., Hornick, IA (Parcel #874624200011)

Second Request –

Comments about Development (minor subdivision/rezone) at 2374 252nd Street, Hornick, IA (Parcel #874624200011)

Dear Woodbury County Stakeholder:

Second Requested for Comments. Please know, the property parcel number is **Parcel #874624200011**.

Woodbury County Planning and Zoning has received an application from Doug Skinner of Skinner Holdings LLC for a five (5) lot minor subdivision and an application for a Zoning Ordinance Map Amendment (Rezone) to rezone from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District. The proposed subdivision/rezone, named 252nd Overlook is for a 36.50-acre portion of the property located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as **GIS Parcel #874624200011**. The property is situated at 2374 252nd St., Hornick, IA 51026, approximately six miles south of Bronson, seven miles east of Salix, and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. This rezoning is proposed to accommodate the future development of the lots, which is required under Section 3.01.1 B of the Woodbury County Zoning Ordinance.

The **Woodbury County Zoning Commission** will conduct both public hearings at **5:00 PM on Monday, November 24, 2025** to consider the applications for recommendations to the Board of Supervisors. The hearings will be held in the basement of the **Woodbury County Courthouse at 620 Douglas St., Sioux City, IA 51101**.

Attached to this email is the review packet for your reference. We kindly ask you to review the enclosed documents and provide any comments or concerns you may have regarding these applications. Your input is valuable and will be considered as part of the review process.

Please provide your comments no later than **10:00 AM on Monday, November 17, 2025**.

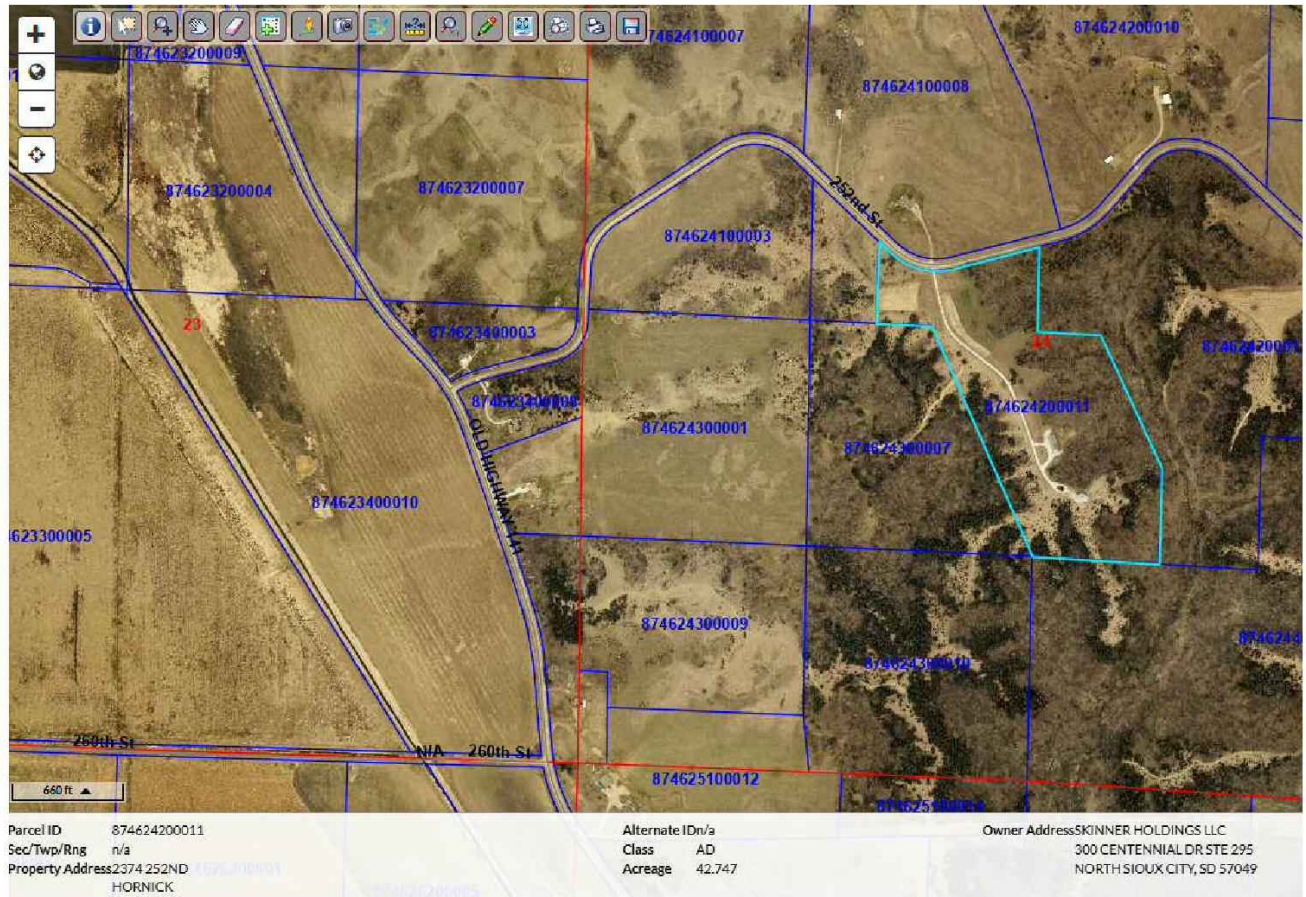
Thank you for your time and consideration.

Respectfully and sincerely,

Dan Priestley

Daniel J. Priestley, MPA
Woodbury County Zoning Coordinator
620 Douglas Street #609
Sioux City, IA 51101

Phone: 712-279-6609
Fax: 712-279-6530
Website: WoodburyCountyIowa.gov





Woodbury County Secondary Roads Department

759 E. Frontage Road · Moline, Iowa 51039

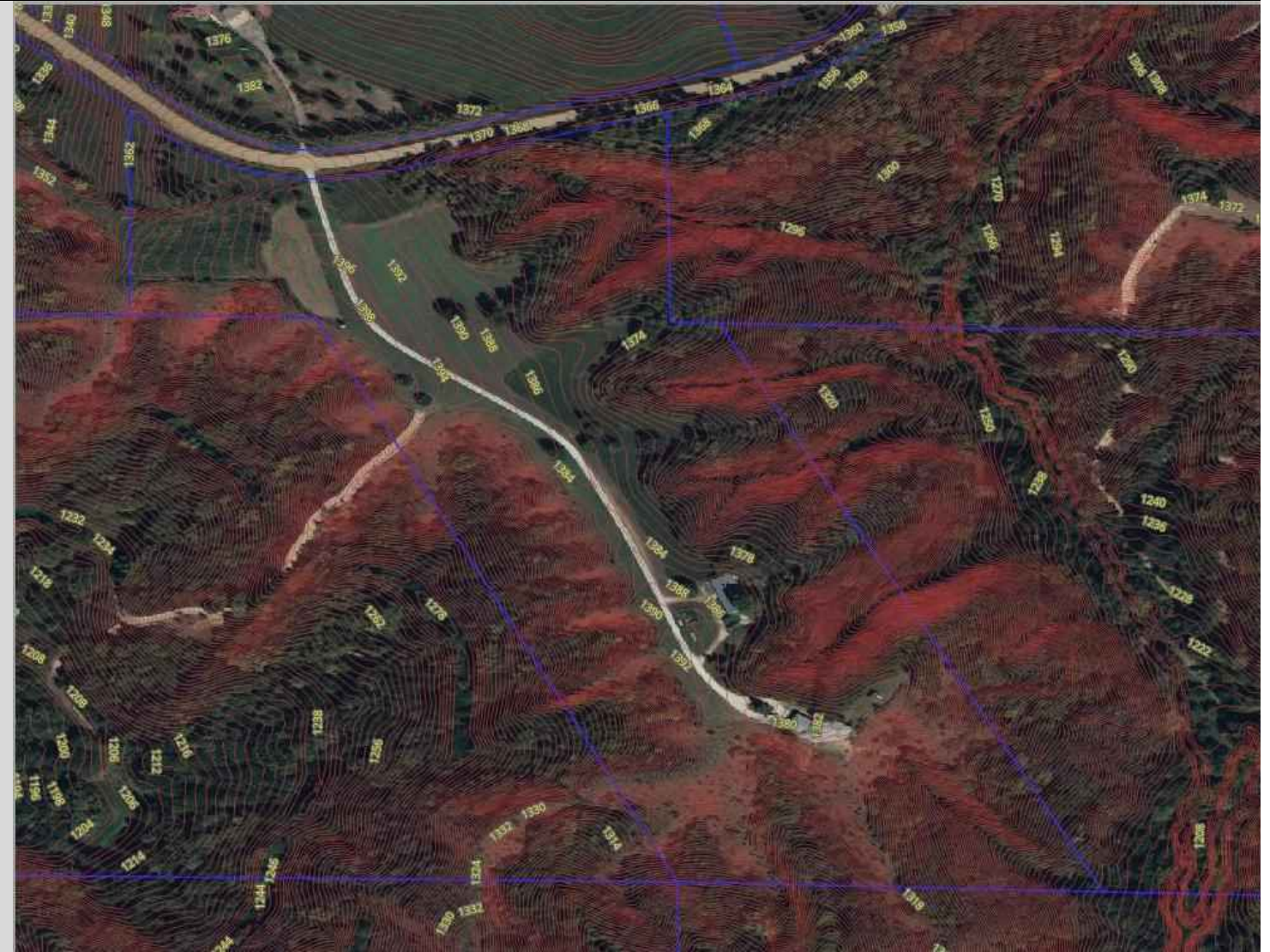
Telephone (712) 279-6484 · (712) 873-3215 · Fax (712) 873-3235

To: Dan Priestley, Woodbury County Zoning Coordinator
From: Laura Sievers, PE, Woodbury County Engineer
Date: November 19, 2025
Subject: 252nd Overlook – Minor Subdivision.

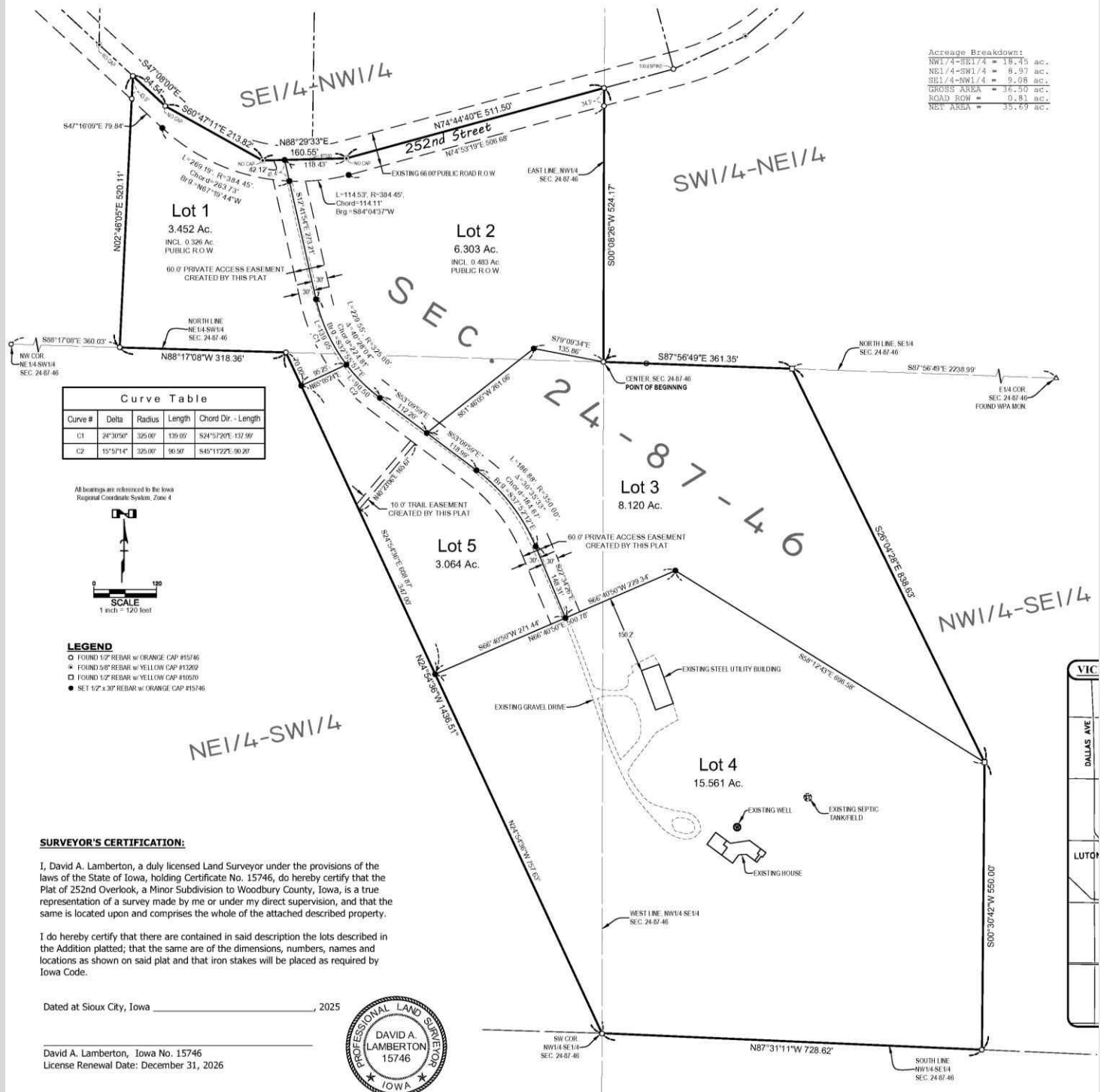
The Secondary Roads Department has completed its review of the 252nd Overlook Minor Subdivision. The plat closure appears to be in compliance with Section 355.8 of the Code of Iowa. Please note that the measured distance of **757.63' should be revised to 757.64'**.

The plat does not identify any proposed new entrance or access locations to the County road system. If new access points are intended, the developer and any future landowner will need to coordinate with the County Engineer's Office to ensure adequate sight distance and to obtain the required entrance permit. Any modifications to the existing entrance will also require a permit and must meet current entrance standards.

PICTOMETRY



PLAT MAP EXCERPT



TITLE OPINION

TITLE OPINION

TO: COUNTY AUDITOR AND RECORDER
WOODBURY COUNTY, IOWA

Dear Madam:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Section 354.11(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: 252nd Overlook, a Minor Subdivision of the City of Sioux City, Woodbury County, Iowa, last certified by Engleson Abstract Co., Inc., dated _____, 2025 at 8:59 a.m. and from said abstract find good and merchantable title to said premises vested in Skinner Holdings, LLC, the proprietor, free and clear of all mortgages, liens and other encumbrances, except as follows:

1. Mortgage from Skinner Holdings, LLC, to Central Bank, dated May 14, 2021, and filed on May 18, 2021, as Instrument #2021-06689.
2. Option Agreement from Skinner Holdings, LLC, to Habitat Restoration Services, LLC, dated June 13, 2025, filed on June 17, 2025, as Instrument #2025-06047.
3. Easement from Leo Lux and Mary Lux, husband and wife to Woodbury County Soil Conservation District of Sioux City, Iowa, dated August 27, 1960 and filed October 7, 1960, in Book 957, Page 303.
4. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954, in Book 748, Page 264.
5. Easement from C.J. Hector and Lois V. Drake, (Single) to Woodbury County, Iowa dated March 26, 1954 and filed May 4, 1954 in Book 748, Page 262 Development Agreement between Clayton Creek, L.L.C. and the City of Sioux City, Iowa, dated April 24, 2017 and filed on April 25, 2017 in Roll 752, Image 4744.
6. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated May 2, 1960 and filed May 10, 1960 in Book 947, Page 385.
7. Maintenance Agreement dated May 12, 1960 and filed May 12, 1960 in Book 947, Page 415.
8. Easement from Emil Levich and Frankie Levich, husband and wife, to Woodbury County Soil Conservation District of Sioux City, Iowa, its successors and assigns, dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 294.
9. Maintenance Agreement dated September 27, 1960 and filed October 7, 1960 in Book 957, Page 288.
10. Easement for Use of Trail System, dated March 29, 2024, filed April 1, 2024 in Inst. #2024-02717.
11. All certified real estate taxes and special assessments due and payable have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: _____, _____.

Alex S. Berenstein
ATTORNEY AT LAW

Woodbury County, IA / Sioux City

Summary

Parcel ID 874624200011
 Alternate ID
 Property 2374 252ND
 Address HORNICK IA 51026
 Sec/Twp/Rng 24-87-46
 Brief AN IRREG TCT BEING PT OF SE NW, PT OF NE SW & PT OF NW SE
 Tax Description OF 24-87-46 DESCRIBED AS BEG AT CENTER OF SEC 24 THNC E
 82.24 FT ALONG N LINE OF NW SE, THNC CONT E ALONG N LINE
 OF NW SE FOR 279.12 FT, THNC SE 838.63 FT, THNC S 550 FT TO S
 LINE OF NW SE, THNC W
 (Note: Not to be used on legal documents)
 Deed 000016918
 Book/Page
 Gross Acres 42.75
 Exempt Acres 15.38
 Net Acres 27.37
 Zoning AP - AGRICULTURAL PRESERVATION
 District 0051 GRANGE/WD-C
 School District WOODBURY CENTRAL
 Neighborhood N/A



Owner

Deed Holder
 SKINNER HOLDINGS LLC
 300 CENTENNIAL DR STE 295
 NORTH SIOUX CITY SD 57049
 Contract Holder
 Mailing Address
 SKINNER HOLDINGS LLC
 300 CENTENNIAL DR STE 295
 NORTH SIOUX CITY SD 57049

Land

Lot Area 36.18 Acres; 1,576,001 SF

Residential Dwellings

Residential Dwelling
 Occupancy Single-Family / Owner Occupied
 Style 1 Story Frame
 Architectural Style N/A
 Year Built 1989
 Condition Very Good
 Roof T & G / Flat
 Flooring
 Foundation TILE
 Exterior Material TILE
 Interior Material Drwl
 Brick or Stone Veneer
 Total Gross Living Area 2,626 SF
 Main Area Square Feet 1943
 Attic Type None;
 Number of Rooms 4 above; 5 below
 Number of Bedrooms 0 above; 3 below
 Basement Area Type Full
 Basement Area 2,175
 Basement Finished Area 1,700 - Living Qtrs. W/ Walk-out
 Plumbing 1 Standard Bath - 3 Fi; 1 Toilet Room (1/2 Bat; 1 Cust Bath - 4 Fixt;
 Appliances 1 Range Unit; 1 Oven - Single; 1 Dishwasher; 1 Barbeque;
 Central Air Yes
 Heat Yes
 Fireplaces 1 Masonry;
 Porches
 Decks Wood Deck (202 SF); Wood Deck (130 SF);
 Additions High Ceiling Frame (232 SF) (232 Bsmt SF);
 1 1/2 Story Frame (265 SF);
 Garages 890 SF - Att Frame (Built 1989);

Agricultural Buildings

Plot#	Type	Description	Width	Length	Year Built	Building Count
0	Steel Utility Building		36	80	2000	1

Valuation

Classification	2025	2024
	Ag Dwelling/ Agriculture	Ag Dwelling/ Agriculture
+ Assessed Land Value	\$24,360	\$24,400
+ Assessed Building Value	\$10,350	\$11,240
+ Assessed Dwelling Value	\$945,930	\$764,500
= Gross Assessed Value	\$980,640	\$800,140
- Exempt Value	(\$10,540)	(\$10,540)
= Net Assessed Value	\$970,100	\$789,600

Sioux City Special Assessments and Fees

[Click here to view special assessment information for this parcel.](#)

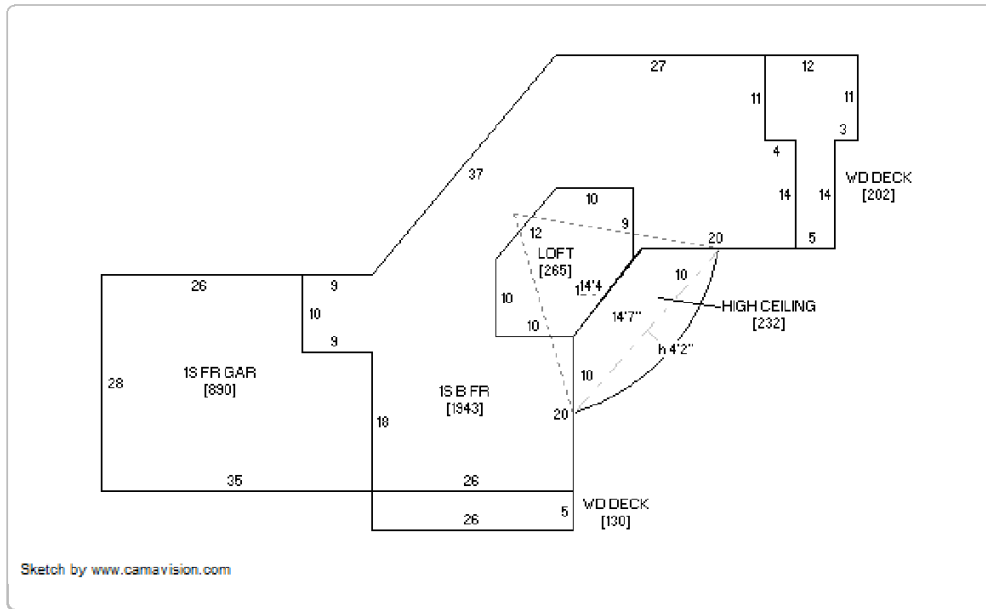
Woodbury County Tax Credit Applications

Apply for Homestead or Military Tax Credit

Photos



Sketches



No data available for the following modules: Commercial Buildings, Yard Extras, Sales, Permits, Sioux City Tax Credit Applications, Sioux City Board of Review Petition.

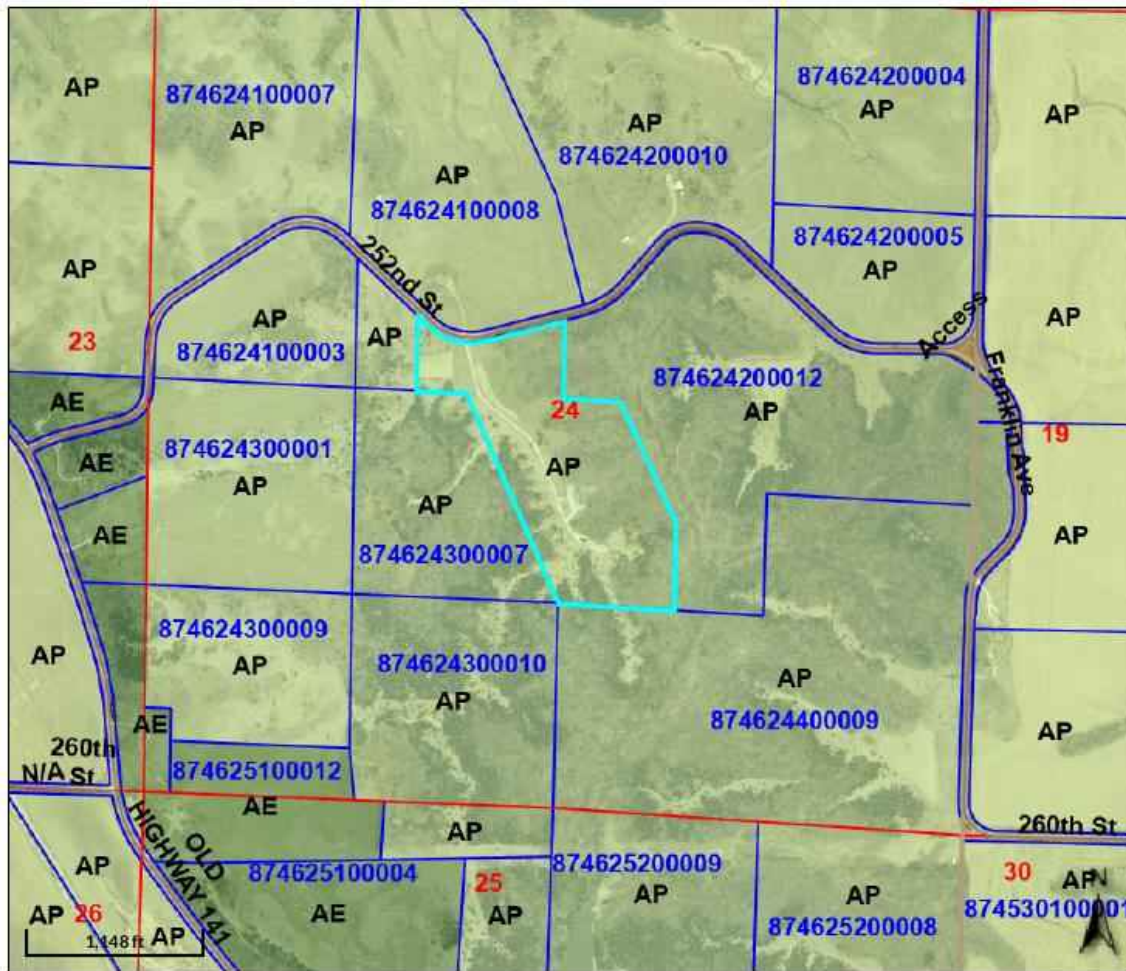
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[Contact Us](#)

Developed by
 **SCHNEIDER**
 GEOSPATIAL

ZONING MAP



Overview



Legend

- Roads
- ▭ Corp Boundaries
- ▭ Townships
- ▭ Parcels
- County Zoning
 - AE
 - AP
 - GC
 - GC-PD
 - GI
 - LI
 - LI-PD
 - SR
 - WR

Parcel ID 874624200011

Sec/Twp/Rng n/a

Property Address 2374 252ND

HORNICK

Alternate ID n/a

Class AD

Acreage 42.747

Owner Address SKINNER HOLDINGS LLC

300 CENTENNIAL DR STE 295

NORTH SIOUX CITY, SD 57049

District 0051

Brief Tax Description

AN IRREG TCT BEING PT OF SE NW, PT OF NE SW & PT OF NW SE OF 24-87-46 DESCRIBED AS BEG AT CENTER OF SEC 24 THNC E 82.24 FT ALONG N LINE OF NW SE, THNC CONT E ALONG N LINE OF NW SE FOR 279.12 FT, THNC SE 838.63 FT, THNC S 550 FT TO S LINE OF NW SE, THNC W

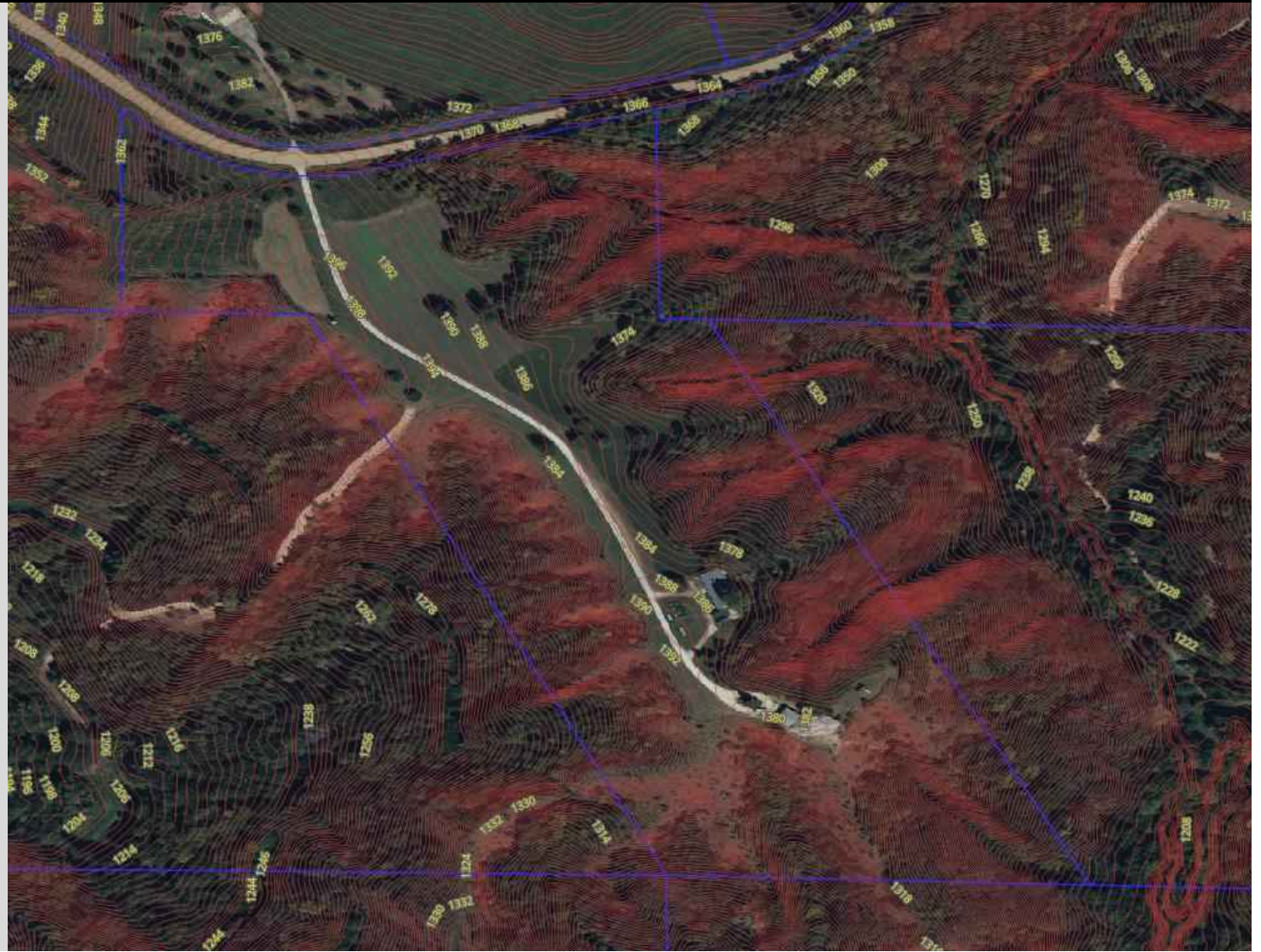
(Note: Not to be used on legal documents)

SPECIAL FLOOD HAZARD AREA (SFHA) MAP

Property not within the floodplain.



ELEVATION MAP



SOIL REPORT

Summary

Parcel ID	874624200011
Gross Acres	36.18
ROW Acres	0.00
Gross Taxable Acres	36.18
Exempt Acres	8.51
Net Taxable Acres	27.67
Average Unadjusted CSR2	15.80
(Gross Taxable Acres - Exempt Land)	
(571.73 CSR2 Points / 36.18 Gross Taxable Acres)	

Agland Active Config 2025

Sub Parcel Summary

Description	Acres	CSR2	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	11.61	11.58	134.46	134.46
Non-Crop	16.06	17.43	279.90	242.90
Forest Reserve	8.51	18.49	157.37	137.72
Total	36.18		571.73	515.08

Soil Summary

Description	SMS	Soil Name	CSR2	Adjusted Acres	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	3200	2.83	90.56	90.56
100% Value	2G	Hamburg silt loam, 40 to 75 percent slopes	500	8.78	43.90	43.90
Non-Crop	3E	Castana silt loam, 14 to 20 percent slopes	4200	4.57	191.94	155.75
Non-Crop	1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	3200	1.13	36.16	35.35
Non-Crop	2G	Hamburg silt loam, 40 to 75 percent slopes	500	10.36	51.80	51.80
Forest Reserve	3E	Castana silt loam, 14 to 20 percent slopes	4200	2.41	101.22	82.13
Forest Reserve	1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	3200	0.95	30.40	29.84
Forest Reserve	2G	Hamburg silt loam, 40 to 75 percent slopes	500	5.15	25.75	25.75
Total				36.18	571.73	515.08

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Contact Us

Developed by
SCHNEIDER
GEOSPATIAL



Overview



Legend

- Roads
- Soils
 - 0.000000 - 5.000000
 - 5.000001 - 20.000000
 - 20.000001 - 30.000000
 - 30.000001 - 40.000000
 - 40.000001 - 50.000000
 - 50.000001 - 60.000000
 - 60.000001 - 70.000000
 - 70.000001 - 80.000000
 - 80.000001 - 90.000000
 - 90.000001 - 100.000000
- Corp Boundaries
- Townships
- Parcels

Parcel ID 874624200011 Alternate ID n/a Owner Address SKINNER HOLDINGS LLC
 Sec/Twp/Rng n/a Class AD 300 CENTENNIAL DR STE 295
 Property Address 2374 252ND Acreage 42.747 NORTH SIOUX CITY, SD 57049
 HORNICK
 District 0051
 Brief Tax Description AN IRREG TCT BEING PT OF SE NW, PT OF NE SW & PT OF NW SE OF 24-87-46 DESCRIBED AS BEG AT CENTER OF SEC 24 THNC E 82.24 FT ALONG N LINE OF NW SE, THNC CONT E ALONG N LINE OF NW SE FOR 279.12 FT, THNC SE 838.63 FT, THNC S 550 FT TO S LINE OF NW SE, THNC W
 (Note: Not to be used on legal documents)

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/3/25

Weekly Agenda Date: 12/9/25

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Daniel J. Priestley

WORDING FOR AGENDA ITEM:

- a. Motion to receive the final report and the Zoning Commission's recommendation from their 11/24/25 meeting to approve the final plat of Brosamle Addition, a minor subdivision to Woodbury County, Iowa.
- b. Motion to accept and approve the Brosamle Addition, a minor subdivision to Woodbury County, Iowa.

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☒

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

The Supervisors will receive the Woodbury County Planning and Zoning (P&Z) Commission's recommendation and final staff report on the Brosamle Addition and shall approve, approve with conditions, or disapprove the plat. The Board may table the matter with the consent of the subdivider. Approval shall be in the form of a resolution to be certified as part of the final plat.

The proposed subdivision to divide 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The subject parcels (#884501200002, #884501200004, #884501200005, #884501200006) are in Section 1, Township 88 North, Range 45 West (Moville Township), within Government Lots 5, 6, 7, and 8, and are zoned Agricultural Preservation (AP). The property is located about two miles southeast of Moville, south of 160th Street and west of Ida Avenue, and is not in the floodplain. Based on submitted information and ordinance requirements, the proposal meets criteria for approval; the Zoning Commission unanimously recommended approval of the Brosamle Addition on November 24, 2025.

BACKGROUND:

Brosamle Farms, LLC has applied for a two-lot minor subdivision titled "Brosamle Addition" to divide 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The subject parcels (#884501200002, #884501200004, #884501200005, #884501200006) are in Section 1, Township 88 North, Range 45 West (Moville Township), within Government Lots 5, 6, 7, and 8, and are zoned Agricultural Preservation (AP). The property is located about two miles southeast of Moville, south of 160th Street and west of Ida Avenue, and is not in the floodplain. Public notice ran in the Sioux City Journal on November 13, 2024, and property owners within 1,000 feet were mailed notice on November 10, 2025 of the Zoning Commission public hearing held November 24, 2025. Relevant government agencies, utilities, and other stakeholders were notified and asked to comment. The Woodbury County Engineer found the proposal compliant with Iowa Code closure requirements and advised that the owner must coordinate with the engineer's office for any future access or modifications requiring permits. The City of Moville waived subdivision plat review by Resolution 2025-14. Based on submitted information and ordinance requirements, the proposal meets criteria for approval; the Zoning Commission unanimously recommended approval of the Brosamle Addition on November 24, 2025.

PROPERTY DETAILS

Parcel(s): 884501200002, 884501200004, 884501200005, 884501200006

Township/Range: T88N R45W (Moville)

Section: 1

Quarter: Gov. Lots 5, 6, 7, 8

Zoning District: Agricultural Preservation (AP)

Floodplain: Zone X – Not in floodplain

Property Address: None

FINANCIAL IMPACT:

0

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☐

RECOMMENDATION:

Receive the final report and the Zoning Commission's recommendation from their 11/24/25 meeting to approve the final plat of Brosamle Addition, a minor subdivision to Woodbury County, Iowa.

Accept and approve Brosamle Addition, a minor subdivision to Woodbury County, Iowa.

ACTION REQUIRED / PROPOSED MOTION:

a. Motion to receive the final report and the Zoning Commission's recommendation from their 11/24/25 meeting to approve the final plat of Brosamle Addition, a minor subdivision to Woodbury County, Iowa.

b. Motion to accept and approve the Brosamle Addition, a minor subdivision to Woodbury County, Iowa.

Surveyor: Gregg A. Stroschein, 712-259-0483
Mail To: 325 Howard Rd. - Merville, IA 51039
County: Woodbury
Section(s): 1 T: 88N R: 45W
Aliquot Part: Parts of Gov't Lots 5-8
Proprietor(s): Brosamle Farms, LLC
Requested by: Dave Brosamle

FINAL PLAT OF Brosamle Addition

A MINOR SUBDIVISION
IN GOVERNMENT LOTS 5, 6, 7, AND 8 OF SECTION 1, T88N, R45W OF THE 5TH P.M.,
AN ADDITION TO WOODBURY COUNTY, IOWA

Owners/Subdividers:
Brosamle Farms, LLC
2561 150th St.
Merville, IA 51039

Engineer/Surveyor:
Scott L. Gernhart, P.E.
Gregg A. Stroschein, P.L.S.
True Engineering & Land Surveying, LLC
325 Howard Road
Merville, Iowa 51039

LEGEND

- PIN FOUND 5/8" PIN,
UNLESS OTHERWISE INDICATED
- SET 5/8" REBAR W/ CAP #10902

NOTES:

- All Bearings and Distances are Measured Unless
Otherwise Indicated

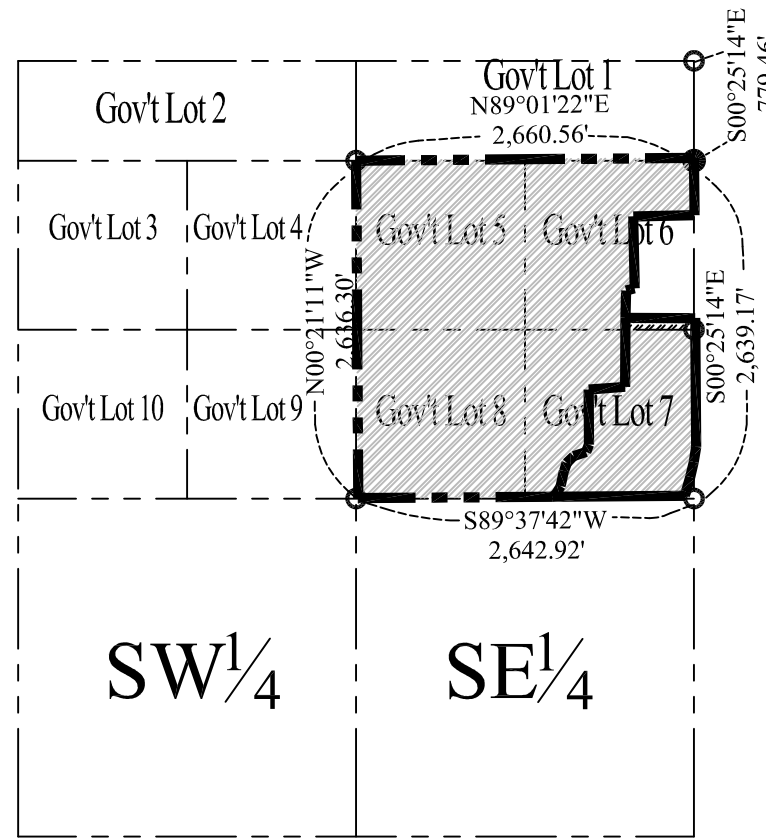
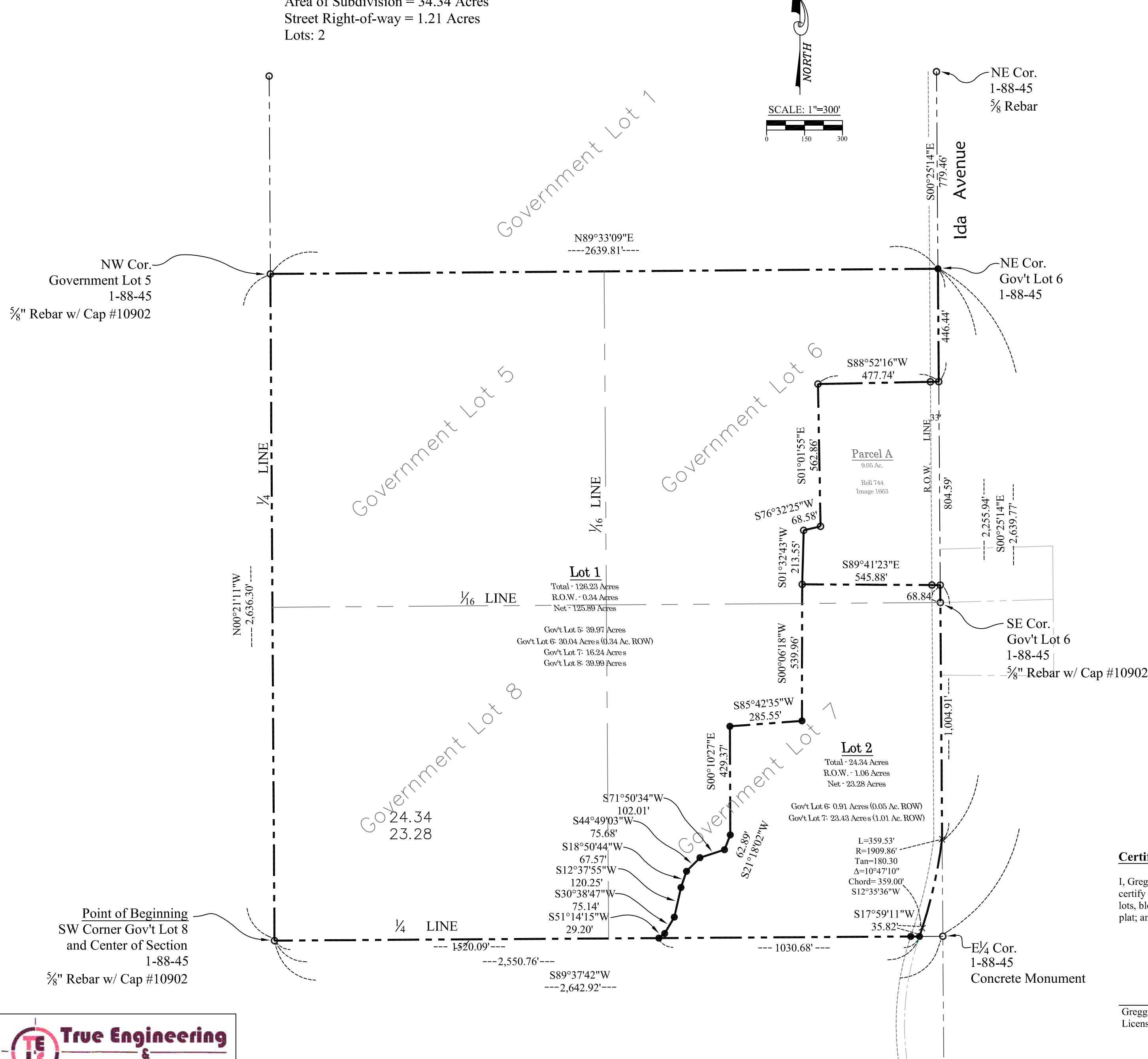
Zoning: AP, Ag Preservation

Building Setback Lines:

Front: 100'
Rear: 50'
Side: 20'

Statistical Data:

Area of Subdivision = 34.34 Acres
Street Right-of-way = 1.21 Acres
Lots: 2



Vicinity Map
1-88-45

Boundary Description

A parcel of land located in Government Lot 5, Government Lot 6, Government Lot 7, and Government Lot 8 all in Section 1, T88N, R45W of the 5th P.M., Woodbury County, Iowa. Said parcel being more particularly described as follows:

Beginning at the SW corner of Government Lot 8 of Section 1; thence northerly along the westerly line of said Government Lot on an assumed bearing of N00°21'11\"W (with all subsequent bearings referenced therefrom) for a distance of 2,636.30 feet to the NW corner of Government Lot 5; thence N89°33'09\"E along the northerly line of said Government Lot for a distance of 2,639.81 feet to the NE corner of Government Lot 6; thence S00°25'14\"E along the easterly line of said Government Lot for a distance of 446.44 feet; thence S88°52'16\"W for a distance of 477.74 feet; thence S01°01'55\"E for a distance of 562.86 feet; thence S76°32'25\"W for a distance of 68.58 feet; thence S01°32'43\"W for a distance of 213.55 feet; thence S89°41'23\"E for a distance of 545.88 feet to a point on the easterly line of Government Lot 6; thence S00°25'14\"E along the easterly line of said Government Lot for a distance of 1,004.91 feet to a point on the roadway centerline curve, thence along a curve to the right, concave northwesterly, having a radius of 1,909.86 feet and a central angle of 10°47'10\", on a chord bearing of S12°35'36\"W for a chord distance of 359.00 feet; thence S17°59'11\"W along said roadway centerline for a distance of 35.82 feet to a point on the southerly line of Government Lot 7; thence S89°37'42\"W along the southerly line of said Government Lot for a distance of 2,550.76 feet to the SW corner of Government Lot 8 and the Point of Beginning.

Said described parcel of land contains 150.57 acres and is subject to all easements and right-of-ways of record.

Certification

I, Gregg A. Stroschein, a duly Licensed Land Surveyor under the laws of the State of Iowa, do hereby certify that there are contained in said description, the lots described in the subdivision as platted; that the lots, blocks, streets and easements are of the dimensions, numbers, names and locations as shown on said plat; and that iron stakes are set at each corner of every lot of said subdivision as indicated hereon.

Gregg A. Stroschein PLS #10902
License renewal date: 12-31-25

Date
Pages covered by seal

FINAL PLAT
OF
Brosamle Addition

A MINOR SUBDIVISION
IN GOVERNMENT LOTS 5, 6, 7, AND 8 OF SECTION 1, T88N, R45W OF THE 5TH P.M.,
AN ADDITION TO WOODBURY COUNTY, IOWA

CONSENT OF OWNERS

Brosamle Farms, LLC, an Iowa limited liability company, certifies that it is the owner of the real estate described in the attached surveyor's certificate; that it has caused the described real estate to be surveyed, staked, and platted into lots, as is particularly shown and set forth in the attached plat and the certificate of Brosamle Addition, the licensed surveyor who surveyed and platted the real estate to be known as Brosamle Addition, a minor subdivision in Government Lots 5, 6, 7, and 8 of Section 1, T88N, R45W of the 5th P.M. and addition to Woodbury County, Iowa; and that it freely consents to the platting hereof.

Joelle Pease Brosamle, Managing Member Date

State of Iowa :
County of Woodbury : SS

On this day of 20 before me, the undersigned, a notary public in and for the state of Iowa, personally appeared Joelle Pease, Managing Member of Brosamle Farms, LLC, an Iowa limited liability company, to me known to be the person named in and who executed the foregoing instrument, and acknowledged that they executed the same as their voluntary act and deed.

Notary Public in and for the State of Iowa

My Commission Expires:

RESOLUTION & CERTIFICATE OF WOODBURY COUNTY ZONING COMMISSION OF WOODBURY COUNTY

I, Christine Zellmer-Zant do hereby certify that I am the Chairman of the Woodbury County Zoning Commission of Woodbury County, Iowa and do further certify that said commission has heretofore taken under advisement the Final Plat of Brosamle Addition, to Woodbury County, Iowa and that said Woodbury County Zoning Commission of Woodbury County, Iowa, did on the Day of 2025, approve the same and does further recommend to the Woodbury County Board of Supervisors, Woodbury County, Iowa, the acceptance and approval of said plat.

Dated this Day of 20.

Christine Zellmer-Zant, Chairman
Woodbury County Zoning Commission of Woodbury County, Iowa

BOARD RESOLUTION NO. .

Resolution accepting and approving the Plat of Brosamle Addition an addition to Woodbury County, Iowa.

Whereas, the Planning and Zoning Commission and the Woodbury County Board of Supervisors have reviewed and approved the Final Plat of Brosamle Addition to Woodbury County, Iowa, and whereas approval of the Final Plat of Brosamle Addition to Woodbury County, Iowa has been recommended to the Woodbury County Board of Supervisors by the Planning and Zoning Commission. Now, therefore be, and it is, resolved by the Woodbury County Board of Supervisors, that said Final Plat of Brosamle Addition to Woodbury County, Iowa, as hereto attached and forming part of this Resolution be, and the same hereby is, accepted and approved.

Dated , 20

ATTEST: WOODBURY COUNTY BOARD OF SUPERVISORS

Michelle K. Skaff, Woodbury County Auditor and Recorder Daniel Bittinger II, Chairperson

STATE OF IOWA :
COUNTY OF WOODBURY : SS

I, Michelle K. Skaff, Woodbury County Auditor and Recorder, do hereby certify that the foregoing is a full, true, and correct copy of a Resolution accepting and approving the Final Plat of Brosamle Addition to Woodbury County, Iowa, which said Resolution was adopted by the Woodbury County Board of Supervisors on the day of 2025 and approved on said date all as full, true and complete as the same appears of record in the Office of said Auditor and Recorder.

Dated , 2025 Michelle K. Skaff Woodbury County Auditor and Recorder

COUNTY ENGINEER'S CERTIFICATE

I, Laura Sievers, P.E., the County Engineer of Woodbury County, Iowa, do hereby certify that I have reviewed the attached plat and have mathematically computed the error of closure of the plat perimeter and of the lots contained therein, and find that said plat conforms with the closure requirements of the Woodbury County Subdivision Ordinance for the Unincorporated area of Woodbury County, Iowa.

Dated , 2025

Laura Sievers, P.E., County Engineer for Woodbury County, Iowa

TITLE OPINION

, 2025

County Auditor and Recorder
Woodbury County, Iowa

Dear Sir/Madam:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Section 354.11(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: Brosamle Addition, a Minor Subdivision in Government Lots 5, 6, 7, and 8 of Section 1, T88N, R45W of the 5th P.M., an Addition to Woodbury County, Iowa last certified by Engleson Abstract Co., Inc., dated , 2025 at 8:59 a.m. and from said abstract find good and merchantable title to said premises vested in Brosamle Farms, LLC, an Iowa limited liability company, subject to the following, liens, limitations and exceptions:

- Easement to Woodbury County Soil and Water Conservation District filed October 28, 1999 on Roll 445, Image 1295.
- Resolutions Number 6332 and 6333 of the Woodbury County Board of Supervisors recorded on May 12, 1977, on Roll 62, Images 2118 through 2121.
- Zoning Regulations of the Woodbury County Board of Supervisors dated January 11, 1971, and recorded March 5, 1971, in Book 1263, Pages 9 to 78.
- Resolution No. 10,455 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7213.
- Resolution No. 10,,456 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7313.
- Notice filed July 29, 1992 on Roll 266, Image 2343.
- Resolution No. 9460 filed December 12, 2000 on Roll 475, Image 935.
- Zoning Ordinances filed February 28, 2022 and recorded on instrument No. 2022-02525 and recorded August 18, 2023 and recorded on instrument No. 2023-07899.
- All certified real estate taxes and special assessments due have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: , 2025.

PATRICK J. PHIPPS
ATTORNEY AT LAW

NOTICE

The City Council of Moville, Iowa, Pursuant to Authority Granted in Iowa Code Section 354.9 Waived the City's Review and Approval of the Final Plat of the Brosamle Addition, as would otherwise be required by the City's Code of Ordinances, with the Adoption of Resolution No. 2025-14 on the 5th day of November, 2025.

AUDITOR AND RECORDER'S CERTIFICATE OF RECORDING

STATE OF IOWA :
COUNTY OF WOODBURY : SS

Docket No:

Filed for record, this day of , 2025, at o'clock M. recorded in Plat Envelope , indexed and delivered to the County Auditor of Woodbury County, Iowa.

Dated , 2025

Michelle K Skaff, Auditor and Recorder, Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy

AUDITOR'S APPROVAL OF SUBDIVISION NAME OR TITLE

The County Auditor hereby accepts and approves the name or title of the attached Subdivision Plat as required by Iowa Code section 354.6(2).

Dated , 2025

Michelle K. Skaff, Auditor and Recorder, Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy

TREASURER'S CERTIFICATE OF TAXES AND SPECIAL ASSESSMENTS

I, Tina M. Bertrand, Treasurer of Woodbury County, Iowa, do hereby certify that the land described in the attached and foregoing Surveyor's Certificate is free from certified taxes and certified special assessments.

Dated , 2025

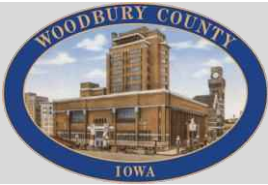
Tina M. Bertrand, Treasurer Woodbury County, Iowa

CERTIFICATE OF COUNTY ASSESSOR

I, Tyler Mogensen, hereby certify that on the day of , 20 , a copy of this plat was filed in the County Assessor's Office.

Dated:

Tyler Mogensen,
Woodbury County Assessor



WOODBURY COUNTY PLANNING & ZONING

620 Douglas Street, Sixth Floor, Sioux City, Iowa 51101
712.279.6609 – 712.279.6530 (Fax)

Daniel J. Priestley, MPA – Zoning Coordinator
dpriestley@woodburycountyiowa.gov

Dawn Norton – Senior Clerk
dnorton@woodburycountyiowa.gov

REPORT FOLLOWING THE MEETING OF THE WOODBURY COUNTY ZONING COMMISSOIN ON 11/24/25 BROSAMLE ADDITION – MINOR SUBDIVISION PROPOSAL

APPLICATION DETAILS	
Applicant(s)/Owner(s):	Brosamle Farms LLC
Application Type(s):	Minor Subdivision
Name of Subdivision:	Brosamle Addition
Application Date:	October 1, 2025
Number of Lots:	2
Total Acres:	150.57
Extraterritorial Review:	City of Merville
Legal Notice Date:	November 13, 2025
Neighbor(s) Notice Date:	November 10, 2025
Stakeholder(s) Notice Date:	October 7, 2025
Zoning Commission Public Hearing Date:	November 24, 2025
Board of Supervisors Agenda Date:	TBD
Attorney:	Pat Phipps, 712-251-2665
Surveyor:	Gregg Stroschein, 712-259-0483

PROPERTY DETAILS	
Parcel(s):	884501200002, 884501200004, 884501200005, 884501200006
Township/Range:	T88N R45W (Merville)
Section:	1
Quarter:	Gov. Lots 5, 6, 7, 8
Zoning District:	Agricultural Preservation (AP)
Floodplain:	Zone X – Not in floodplain
Property Address:	None

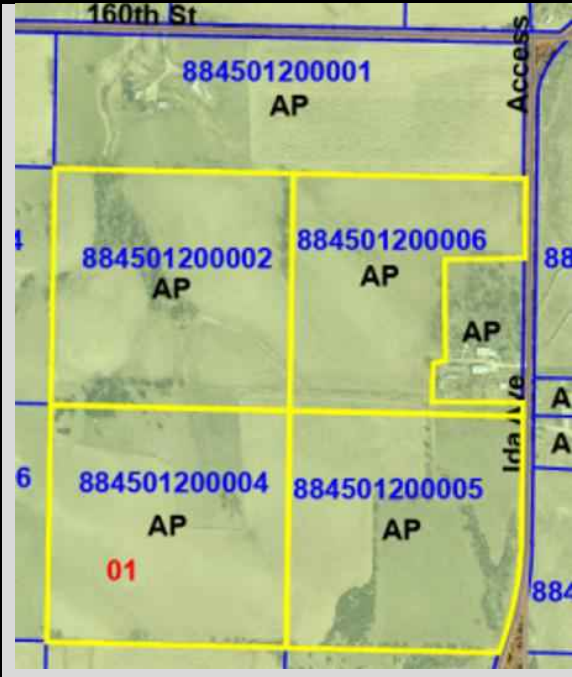
CONTENTS	
SUMMARY, AERIAL MAP, PLAT EXCERPT	
APPLICATION	
FINAL PLAT	
REVIEW CRITERIA	
PUBLIC NOTIFICATION, STAKEHOLDER INPUT	
SUPPORTING DOCUMENTATION	

A parcel of land located in Government Lot 5, Government Lot 6, Government Lot 7, and Government Lot 8 all in Section 1, T88N, R45W of the 5th P.M., Woodbury County, Iowa. Said parcel being more particularly described as follows:
Beginning at the SW corner of Government Lot 8 of Section 1; thence northerly along the westerly line of said Government Lot on an assumed bearing of N00°21'11"W (with all subsequent bearings referenced therefrom) for a distance of 2,636.30 feet to the NW corner of Government Lot 5; thence N89°33'09"E along the northerly line of said Government Lot for a distance of 2,639.81 feet to the NE corner of Government Lot 6; thence S00°25'14"E along the easterly line of said Government Lot for a distance of 446.44 feet; thence S88°52'16"W for a distance of 477.74 feet; thence S01°01'59"E for a distance of 562.86 feet; thence S76°32'23"W for a distance of 68.58 feet; thence S01°32'43"W for a distance of 213.55 feet; thence S89°41'23"E for a distance of 545.88 feet to a point on the easterly line of Government Lot 6; thence S00°25'14"E along the easterly line of said Government Lot for a distance of 1,004.91 feet to a point on the roadway centerline curve, thence along a curve to the right, concave northwesterly, having a radius of 1,909.86 feet and a central angle of 10°47'10", on a chord bearing of S12°35'36"W for a chord distance of 359.00 feet; thence S17°59'11"W along said roadway centerline for a distance of 35.82 feet to a point on the southerly line of Government Lot 7; thence S89°37'42"W along the southerly line of said Government Lot for a distance of 2,550.76 feet to the SW corner of Government Lot 8 and the Point of Beginning. Said described parcel of land contains 150.57 acres and is subject to all easements and right-of-ways of record.

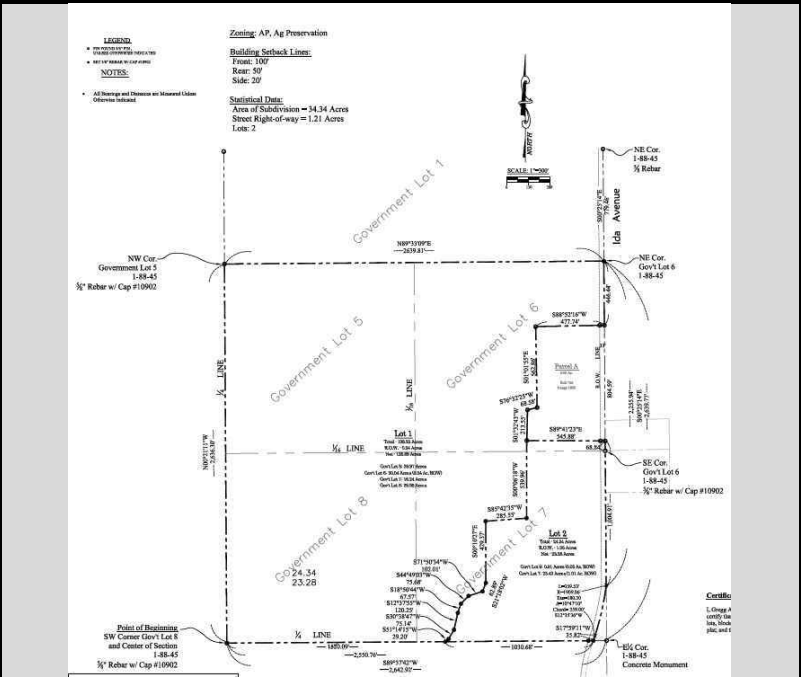
SUMMARY

Brosamle Farms, LLC has applied for a two-lot minor subdivision titled "Brosamle Addition" to divide 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The subject parcels (#884501200002, #884501200004, #884501200005, #884501200006) are in Section 1, Township 88 North, Range 45 West (Merville Township), within Government Lots 5, 6, 7, and 8, and are zoned Agricultural Preservation (AP). The property is located about two miles southeast of Merville, south of 160th Street and west of Ida Avenue, and is not in the floodplain. Public notice ran in the Sioux City Journal on November 13, 2024, and property owners within 1,000 feet were mailed notice on November 10, 2025 of the Zoning Commission public hearing held November 24, 2025. Relevant government agencies, utilities, and other stakeholders were notified and asked to comment. The Woodbury County Engineer found the proposal compliant with Iowa Code closure requirements and advised that the owner must coordinate with the engineer's office for any future access or modifications requiring permits. The City of Merville waived subdivision plat review by Resolution 2025-14. Based on submitted information and ordinance requirements, the proposal meets criteria for approval; the Zoning Commission unanimously recommended approval of the Brosamle Addition on November 24, 2025.

AERIAL MAP



PLAT EXCERPT





**WOODBURY COUNTY
ZONING COMMISSION**

WOODBURY COUNTY COURTHOUSE
620 DOUGLAS STREET
SIOUX CITY, IA 51101

To: Woodbury County Board of Supervisors
620 Douglas Street
Sioux City, Iowa 51101

From: Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

Subject: Recommendation on Proposed Brosamle Addition Minor Subdivision (Two Lots)
on Parcels #884501200002, #884501200004, #884501200005, and
#884501200006

Dear Board of Supervisors:

On November 24, 2025, the Woodbury County Zoning Commission held a public hearing to consider the application from Brosamle Farms, LLC for a two-lot minor subdivision known as Brosamle Addition. The proposal seeks to divide 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The properties are located in Section 1, Township 88N, Range 45W (Moville Township), Government Lots 5, 6, 7, and 8, zoned Agricultural Preservation (AP), approximately two miles southeast of Moville, south of 160th Street and west of Ida Avenue. The property is not in a floodplain.

Zoning Coordinator Dan Priestley presented the staff report, noting that the proposal complies with Iowa Code closure requirements per the Woodbury County Engineer, who advised coordination for any access modifications requiring permits. The City of Moville waived review via Council Resolution 2025-14. Neighbors within 1,000 feet were notified on November 10, 2025, and the proposal was published in the Sioux City Journal on November 13, 2025. Stakeholders were notified, and the proposal meets basic approval criteria.

Applicant representative David Brosamle addressed the Commission, stating he owns one-fifth of the land and intends to purchase the remainder from the LLC for continued pasture and cattle-raising use since the 1970s, with no plans for housing development. He noted existing road access and thanked staff for assistance.

No other public comments were received, either in support or opposition. The Commission had no questions.

The public hearing was closed by unanimous voice vote. A motion was made to recommend approval of the plat as submitted to the Board of Supervisors, which was seconded and passed unanimously (5-0).

The Zoning Commission recommends that the Board of Supervisors approve the Brosamle Addition minor subdivision as submitted.

Please refer to the draft copy of the Zoning Commission minutes for details about the Commission's recommendation(s).

Dated this 1st day of Dec, 2025.


Christine Zellmer Zant, Chair
Woodbury County Zoning Commission

RESOLUTION & CERTIFICATE OF WOODBURY COUNTY ZONING COMMISSION OF WOODBURY COUNTY

I, Christine Zellmer-Zant do hereby certify that I am the Chairman of the Woodbury County Zoning Commission of Woodbury County, Iowa and do further certify that said commission has heretofore taken under advisement the Final Plat of Brosamle Addition, to Woodbury County, Iowa and that said Woodbury County Zoning Commission of Woodbury County, Iowa, did on the 24th Day of November, 2025, approve the same and does further recommend to the Woodbury County Board of Supervisors, Woodbury County, Iowa, the acceptance and approval of said plat.

Dated this 1st Day of December, 2025.


Christine Zellmer-Zant, Chairman
Woodbury County Zoning Commission of Woodbury County, Iowa

Woodbury County Zoning Commission Meeting Minutes

Date: November 24, 2025

Time: 5:00 PM

Location: Board of Supervisors' Meeting Room, Basement, Woodbury County Courthouse, 620 Douglas Street, Sioux City, IA

MEETING AUDIO:

For specific content of this meeting, refer to the recorded video on the Woodbury County Zoning Commission "Committee Page" on the Woodbury County website:

- County Website Link:
 - o https://www.woodburycountyiowa.gov/committees/zoning_commission/
- YouTube Direct Link:
 - o <https://www.youtube.com/watch?v=E2lrRoiGx6w>

Attendees

- **Commissioners Present:** Chris Zellmer Zant – Chair, Tom Bride, Steve Corey, Jeff Hanson, Corey Meister
- **Staff Present:** Dan Priestley – Zoning Coordinator, Dawn Norton – Senior Clerk
- **Supervisors Present:** Kent Carper, David Dietrich
- **Public Attendees:** Gary Haruan, Cindy Foix, Leo Lidgett, Gary McMullen, Darlynn McMullen, Susan Chapman, Chad Brady, Lisa Brosamle, David Brosamle, Jim Thomas, Amiee Krogh, Deborah Sulsberger, Glenna Tevis, Bonnie Brosamle, Linda Arnolt, Roger Lorenzen, Mike Mooney, Rich Pope, Amy Sulsberger, Chuck Sattler, Jason Yockey, Doug Miller, Chris Kennedy, Keith Pease, Doug Skinner, Brenton Feuchtenberger

Call to Order

The Woodbury County Zoning Commission meeting was called to order by Chair Christine Zellmer Zant at approximately 5:00 PM on November 24, 2025. The Chair noted that the meeting would be audio taped, and minutes prepared for all parties. Attendees were asked to turn off cell phones or set them to vibrate and to complete the attendance sheet. The Chair reviewed the Commission's procedures for the meeting, including handling of agenda items, public hearings, staff reports, applicant presentations, public comments (requiring speakers to state name and address at the microphone, avoid repetitious comments, and remain respectful), closing statements, closing of hearings by motion and vote, deliberation, and disclosure of any ex-parte communications prior to deliberation.

Roll Call

Chair Christine Zellmer Zant conducted a roll call, noting that Commissioners Christine Zellmer Zant, Tom Bride, Jeff Hanson, Corey Meister, and Steve Corey were present.

Public Comment on Matters Not on the Agenda

No public comments were received on matters not listed on the agenda, either in person or via phone.

Approval of Previous Meeting Minutes

The Commission reviewed the minutes from the previous meeting (September 22, 2025). No corrections or additions were noted. Commissioner Jeff Hanson made a motion to approve the minutes as presented, which was seconded by Commissioner Tom Bride. The motion passed unanimously with all Commissioners present voting "aye." (5-0)

Public Hearing: Consideration of Proposed Brosamle Addition Minor Subdivision (Two Lots) Application on Parcels #884501200002, # 884501200004, 884501200005, and #884501200006 from Brosamle Farms, LLC (Action Item)

Chair Zellmer Zant opened the public hearing.

Zoning Coordinator Dan Priestley presented the staff report. Brosamle Farms, LLC submitted an application for a two-lot minor subdivision named Brosamle Addition, dividing 150.57 acres from four government lots into Lot 1 (126.23 acres) and Lot 2 (24.34 acres). The properties are in Section 1, Township 88N, Range 45W (Moville Township), Government Lots 5, 6, 7, and 8, zoned Agricultural Preservation (AP). Located two miles southeast of Moville, south of 160th Street and west of Ida Avenue. The proposal was noticed in the Sioux City Journal on November 13, 2025, and neighbors within 1,000 feet were notified by letter on November 10, 2025. Stakeholders, including government agencies and utilities, were notified. The Woodbury County Engineer confirmed compliance with Iowa Code closure requirements and advised coordination for access permits. The property is not in a floodplain. The City of Moville waived review via Council Resolution 2025-14. The proposal meets basic approval criteria. After packet printing, neighbor David Brosamle (1625 Ida Avenue) verbally expressed no objections.

Applicant representative David Brosamle spoke, stating his name and address for the record. He explained he owns one-fifth of the land and seeks to purchase the rest from the LLC for continued pasture use since the 1970s, raising cattle, with no plans for housing development. He noted existing road access and thanked staff for assistance.

No other public comments were received.

Commissioners had no questions. Priestley confirmed the verbal comment from David Brosamle was entered into the record.

Commissioner Tom Bride made a motion to close the public hearing. Corey Meister seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Commissioner Jeff Hanson made a motion to recommend approval of the plat as submitted to the Board of Supervisors. Commissioner Steve Corey seconded. No further discussion. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Priestley explained next steps: The plat goes to the Board of Supervisors for final approval, requiring signatures from county departments and stakeholders, then recording in the Recorder's Office if approved.

**Public Hearing: Consideration of Proposed 252nd Overlook Minor Subdivision (Five Lots)
Application on Parcel #874624200011 (2374 252nd, Hornick, IA 51026) from Doug Skinner of
Skinner Holdings, LLC (Action Item)**

Chair Zellmer Zant opened the public hearing,

Priestley presented the staff report noting this item is associated with the subsequent rezone application (from AP to AE) and they would be discussed together but voted on separately. Doug Skinner of Skinner Holdings, LLC applied for a five-lot minor subdivision named 252nd Overlook on a 36.50-acre portion in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87N, Range 46W. GIS Parcel #874624200011, at 2374 252nd Street, Hornick, IA, seven miles east of Salix and seven miles north of Hornick, east of Old Highway 141, west of Franklin Avenue, south of 252nd Street. Currently zoned AP, not in floodplain. Noticed in Sioux City Journal on November 13, 2025; neighbors notified November 10, 2025. Stakeholders notified. County Engineer confirmed Iowa Code compliance, advised access coordination. Proposals meet basic requirements contingent on hearing input.

Priestley noted additional information received post-packet: County Engineer Laura Sievers' memo with a correction (754.64 feet on the plat, not 757.63). Commissioner Tom Bride made a motion to receive the memo into the record and associate the corrected number with the final plat. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Priestley read and requested receipt of public comments into the record:

- Reverend Jim Thomas Jr. (November 20, 2025): Opposes rezone/subdivision, citing blocked scenic views of Loess Hills, privatization, altering rural character; urges denial to preserve appeal.
- Citizen petition by Gary McMullen (November 21, 2025, 35-40 signatures): Opposes, citing inadequate gravel roads, reduced Loess Hills enjoyment, potential tax hikes, strain on services, fragile soil risks; included map.
- Richard Pope (November 21, 2025): Opposes due to Loess Hills soil (low CSR, steep slopes, erosion-prone), part of Iowa's largest prairie remnant; recommends denying to preserve non-crop values.
- Seth Brooks (on behalf of Loess Hills National Scenic Byway, via Golden Hills RC&D, November 21, 2025): Urges evaluation for impacts on Loess Hills National Scenic Byway, ecology, viewshed; stresses responsible decisions.
- Gary and Darlynn McMullen (November 21, 2025): Strongly oppose; preserve unique Loess Hills for public enjoyment (visible from byway); warn of road deterioration with traffic.

Commissioner Cory Meister made a motion to receive all documents (names, petition, letters, emails) into the record. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Applicant Doug Skinner (Skinner Holdings, LLC) and Brenton Feuchtenberger presented. Skinner addressed what he called misinformation in the petition: Minimal financial impact on distant residents; only McMullens within 1,000 feet; three homes won't materially impact steep/windy 252nd Street or Highway 141 (no engineer report supports otherwise); "limit development" means "no development"; tax increases misstated (AE vs. AP taxation differs, precedent for AE nearby); three homes won't affect watershed/aquifer; increases safety via more residents; no county services strain; hypocrisy in petitioner's 2004 home build. Emphasized property rights over emotion/opinion.

Feuchtenberger provided handouts (maps, explanations). Commissioner Tom Bride made a motion to receive handouts into the record. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Feuchtenberger explained backstory: Purchased 290 acres over two years (highlighted in red on map), seeking to buy remaining land excluding existing home (#4). Minor subdivision/rezone required; not intending dense development (e.g., Whispering Creek); could create 12-14 lots but proposing five (one unbuildable); follows quarter-quarter lines, congruent with AP spirit (two homes per 40 acres); access (Xs on map) for hunting; no immediate home-building plans; compromise limits future density; AP allows similar without rezone via road splits/natural boundaries.

Public comments (opposition focused on preserving Loess Hills, environmental fragility, road maintenance/traffic, rural character, dairy proximity odors, watershed/erosion, increased services strain, tax impacts, scenic byway views):

- Gary McMullen: Lives across opposes due to unique landscape preservation, visible from byway; road deterioration; resentment. Existing house driveway would drive through hunting area, safety issue.
- Cindy Foix: Opposes: fragile ecosystem, erosion risks; questions access/maintenance; preserve for future generations. Question if proposed easement with 3 additional lots would remain AP. Concerns of hunting lodge or condos being allowed.
- Leo Lidgett: Opposes: Loess Hills rarity, erosion-prone; development threatens; references past protections.
- Susan Chapman: Opposes; preserve views/character; road safety concerns post-rain.
- Chad Brady: Opposes; environmental impact, soil fragility; alternatives exist elsewhere.
- Jim Thomas: Opposes; blocks public views, privatizes; deny to preserve appeal.

- Amiee Krogh: Opposes; Loess Hills conservation priority; development risks.
- Supervisor Dietrich: Shotgun or rifle hunting may be issue, bow not as much; sees both sides. Recommended Board of Supervisors visit site.
- Deborah Sulsberger: Opposes; steep roads unsuitable for more traffic; preserve natural state.
- Darlynn McMullen: Stated rumor that 10 homes would be built.
- Doug Miller: Questioned as to why not just buy it instead of doing subdivision.
- Glenna Tevis: Questions restrictions (single-family only? No condos/lodges?); dairy odor concerns. Priestley clarified: AE allows single-family dwellings; multi-family prohibited/conditional; hunting lodges not enumerated but hospitality uses restricted.
- Linda Arnolt: Opposes; maintain sparse areas per 2040 plan; soil conservation recommends AP; dairy complaints; road calls to engineer.
- Roger Lorenzen: Opposes; road conditions after rain; adds gravel miles.
- Mike Mooney: Opposes; environmental devastation risks.
- Rich Pope: Praises handling fragile Loess Hills issues; population growth vs. environment; questions AP to AE advantage (density, setbacks differ; AE for multi-lots per ordinance). Priestley explained: AE for >2 parcels per quarter-quarter; setbacks 75 ft vs. 100 ft; uses mostly similar, density key. Once area is lost, it's gone.
- Amy Sulsberger: Opposes; preserve prairie remnant.
- Chuck Sattler: Opposes; road maintenance strain.
- Jason Yockey: Questions order (rezone before subdivide?); could approve subdivision but deny rezone, limiting builds. Priestley: Possible to delay rezone; triggers at building permit if >2 homes.
- Jim Thomas: Opposes; dairy proximity clarification (2-3 miles, valley/road separation). Keep sparse areas sparse.
- Chris Kennedy: Opposes; watershed impacts.
- Keith Pease: Questions practical AP vs. AE differences with restrictions (density control; some AP commercial uses prohibited in AE). Priestley displayed ordinance table online, explaining uses (agriculture identical; residential density differs; some commercial restricted in AE).
- Commissioner Bride commented on property rights, not high density project.
- Commissioner Zant also spoke of property rights; conservation.
- Commissioner Steve Corey commented on landowner rights, easement approves of easement compromise.

Skinner reiterated compromise: Restriction limits to three additional homes max, aligning with AP; no current build plans.

Commissioner Tom Bride commented: Beneficial intent; AP already allows worse scenarios.
Commissioner Steve Corey offered site visit with supervisors.

Commissioner Tom Bride made a motion to close the public hearing. Commissioner Steve Corey seconded. The motion passed unanimously by voice vote (ayes: all; opposed: none).

Commissioner Jeff Hason announced that he would be abstaining for voting on the two agenda items from Doug Skinner due to non-financial conflicts of interest.

Commissioner Tom Bride made a motion to recommend approval of the subdivision to the Board of Supervisors, using the updated draft including the correct dimension form the county engineer with restriction of no more than three additional homes. Commissioner Steve Corey seconded. The motion passed by voice vote (ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson).

**Public Hearing: Consideration of Proposed Zoning Ordinance Map Amendment (Rezone)
Application from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE)
Zoning District on Parcel #874624200011 from Doug Skinner of Skinner Holdings, LLC (2374
252nd, Hornick, IA 51026) (Action Item)**

Chair Zellmer Zant opened the public hearing. (Discussions overlapped with prior item but focused on rezone specifics: AP vs. AE differences, density, uses.)

Priestley reiterated: Rezone for 36.50 acres to accommodate lots per Section 3.01.1.B; meets requirements contingent on input.

Priestley asked the Commission to receive an updated draft of the Zoning Ordinance Map Amendment Rezone ordinance language into the record to correct the acres to 36.50 acres. Commissioner Steve Corey made a motion to receive the updated draft of the rezone ordinance. Commissioner Tom Bride seconded the motion. The motion passed by voice vote ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.

Public comments continued from prior hearing, emphasizing opposition to rezone for same reasons (preservation, etc.). Additional clarifications on AP (agricultural focus, 2 homes/quarter-quarter) vs. AE (allows more density but with restrictions; some uses prohibited).

Commissioner questions: Practical differences with restriction (minimal; density key); ordinance nuances (farmer exemptions, building permits).

Commissioner Steve Corey made a motion to close the public hearing. Commissioner Corey Meister seconded. The motion passed unanimously by voice vote. ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.

Commissioner Bride made a motion to recommend the rezone to the Board of Supervisors, using the updated draft with restriction of no more than three additional homes. Commissioner Steve Corey seconded. No further discussion. The motion passed by voice vote (ayes: 4; opposed: 0; abstentions: 1 Jeff Hanson.)

Public Comment on Matters Not on the Agenda

No additional public comments were received on matters not listed on the agenda, either in person or via phone.

Staff Update

Priestley updated: Zoning Commission/Board of Adjustment applications open, deadline December 1, 2025. New state law requires training (~1.5 hours) for new members (ex-parte, public engagement); existing members grandfathered. Exploring in-house compliance system; applies to Supervisors too. Brosamle item to Supervisors sooner (no rezone); Skinner items on December 9, 16, or 23, 2025.

Commissioner Comment or Inquiry

No Commissioners offered additional comments or inquiries.

Adjournment

Commissioner Corey Meister moved to adjourn the meeting, seconded by Commissioner Steve Corey. The motion passed unanimously with all Commissioners present voting "aye." (5-0) The meeting adjourned at approximately 7:49 PM.

Appendix

Received Materials on subsequent pages.

- County Engineer's Review Memo making a change to the final plat to 754.64 feet.
- Written comments from citizens.
- Map from Brenton Feuchtenberger
- Updated draft of the Zoning Ordinance Map Amendment

APPENDIX SECTION REMOVED TO SHORTEN PACKET. NO MATERIAL IN THE APPENDIX APPLIES TO THE PROPOSED BROSAMLE ADDITION.

RECEIVED

WOODBURY COUNTY, IOWA
MINOR SUBDIVISION APPLICATION

OCT - 1 2025

Applicant: Brosamle Farms LLC Name of Owner WOODBURY COUNTY PLANNING & ZONING

Mailing Address: 2561 150th St. Moville IA 51039
Street City or Town State and Zip + 4

Property Address: Ida Ave. Moville IA 51039
Street City or Town State and Zip + 4

Ph/Cell #: 712-870-1417 E-mail Address: David.Brosamle@gmail.com
David Brosamle

To subdivide land located in the Quarter of Section 1
Gravel Lots 5-8

Civil Township Moville GIS Parcel # 884501200002, 4, 5, 6

Name of Subdivision: Brosamle Addition

Subdivision Area in Acres 150.57 Number of Lots 2

Attachments:

1. Eight (8) copies of grading plans; if required.
2. Eight (8) copies of final plats (Complete per Section 4.01 of the Subdivision Ordinance).
3. An attorney's opinion of the abstract.
4. A Certified abstractor's certificate to include:
 - a. Legal description of proposed subdivision.
 - b. Plat showing clearly the boundaries of the subdivision.
 - c. A list of names, mailing addresses (including the ZIP + 4), and legal descriptions of all property owners within 1000'.

Surveyor: Gregg Stroschein Ph/Cell: 712-259-0483

Attorney: Pat Phipps Ph/Cell: 712-251-2665

I hereby grant permission to the Woodbury County Zoning Staff and elected or appointed officials to conduct on-site inspections.

Owner's Signature: Scott GerhartZoning Director: Pat Phipps**For Office Use Only:**

Zoning District AP Flood District X Date 10/11/25 No. 7116

Application Fee 4 Lots or less (\$300*+ Additional Fees) \$300 cl #4332

5 Lots or more (\$300* plus \$5 per lot + Additional Fees) _____

*Owner(s)/applicant(s) shall pay the additional costs associated with the processing, printing, and the mailing of notifications of the public hearings when the number of mailings required exceeds 30. The owner(s)/applicant(s) shall pay the additional costs of the legal publication notice(s) in newspaper(s) when the fees exceed \$100.00.

Surveyor: Gregg A. Stroschein, 712-226-0000
 Date: 12/15/2010
 County: Woodbury
 Section: 1, T. 88N, R. 45W
 Alluvial Part: Part of Gov't Lot 5 & 6
 Prepared by: Brosamle Farms, LLC
 Requested by: Dave Brosamle

FINAL PLAT OF Brosamle Addition

A MINOR SUBDIVISION
 IN GOVERNMENT LOTS 5, 6, 7, AND 8 OF SECTION 1, T88N, R45W OF THE 5TH P.M.,
 AN ADDITION TO WOODBURY COUNTY, IOWA

Owners/Subdividers:
 Brosamle Farms, LLC
 2561 150th St.
 Moline, IA 51039

Engineer/Surveyor:
 Scott L. Gernhart, P.E.
 Gregg A. Stroschein, P.L.S.
 True Engineering & Land Surveying, LLC
 325 Howard Road
 Moline, Iowa 51039

LEGEND:
 * PERMANENT BY THE
 UNLESS OTHERWISE INDICATED
 * SET BY REBAR W/ CAP #10902
NOTES:
 * All Bearings and Distances are Measured Unless
 Otherwise Indicated

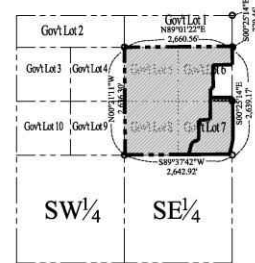
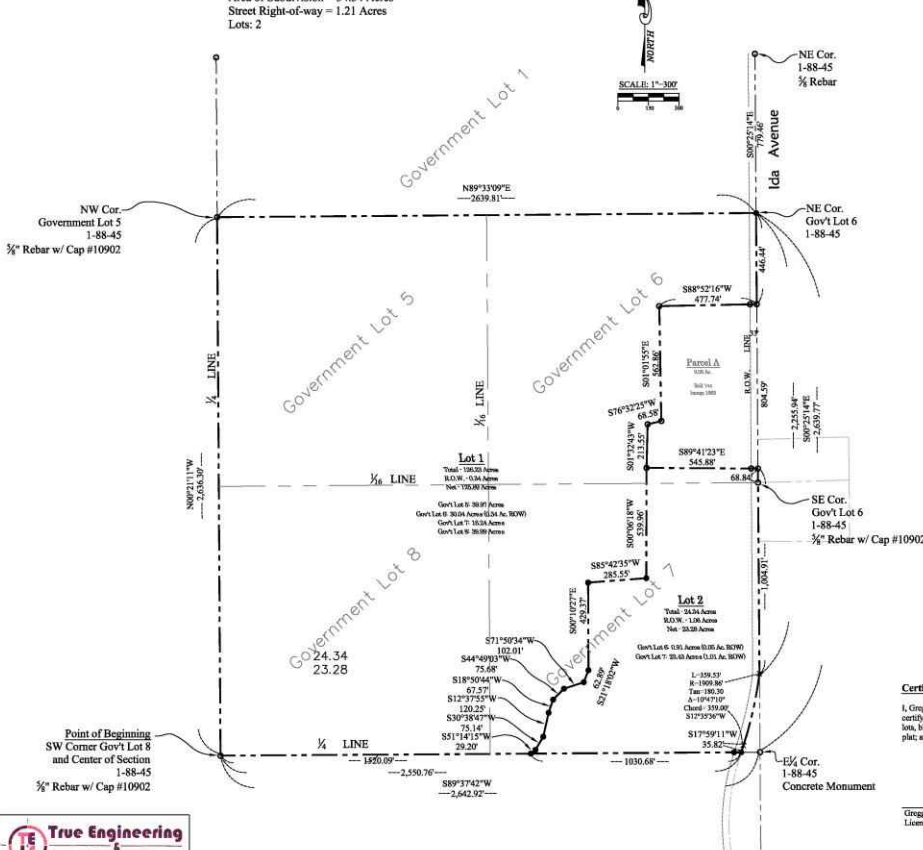
Zoning: AP, Ag Preservation

Building Setback Lines:

Front: 100'
 Rear: 50'
 Side: 20'

Statistical Data:

Area of Subdivision = 34.34 Acres
 Street Right-of-way = 1.21 Acres
 Lots: 2



Vicinity Map
1-88-45

Boundary Description

A parcel of land located in Government Lot 5, Government Lot 6, Government Lot 7, and Government Lot 8 all in Section 1, T88N, R45W of the 5th P.M., Woodbury County, Iowa. Said parcel being more particularly described as follows:

Beginning at the SW corner of Government Lot 8 of Section 1; thence northerly along the westerly line of said Government Lot 8 on an assumed bearing of N00°21'11"W (with all subsequent bearings referenced therefrom) for a distance of 2,636.30 feet to the NW corner of Government Lot 5; thence N89°33'09"E along the northerly line of said Government Lot 5 for a distance of 2,639.81 feet to the NE corner of Government Lot 6; thence S00°25'14"E along the easterly line of said Government Lot 6 for a distance of 446.44 feet; thence S88°52'16"W for a distance of 477.74 feet; thence S01°01'55"E for a distance of 562.86 feet; thence S76°32'25"W for a distance of 68.58 feet; thence S01°52'43"W for a distance of 213.55 feet; thence S89°41'23"E for a distance of 545.88 feet to a point on the easterly line of Government Lot 6; thence S00°25'14"E along the easterly line of said Government Lot 6 for a distance of 1,004.91 feet to a point on the roadway centerline curve, thence along a curve to the right, concave northwesterly, having a radius of 1,509.86 feet and a central angle of 10°47'10", on a chord bearing of S12°35'06"W for a chord distance of 359.00 feet; thence S17°59'11"W along said roadway centerline for a distance of 35.82 feet to a point on the southerly line of Government Lot 7; thence S89°37'42"W along the southerly line of said Government Lot 7 for a distance of 2,550.76 feet to the SW corner of Government Lot 8 and the Point of Beginning.

Said described parcel of land contains 150.57 acres and is subject to all easements and right-of-ways of record.

Certification

I, Gregg A. Stroschein, a duly Licensed Land Surveyor under the laws of the State of Iowa, do hereby certify that there are contained in said description, the lots described in the subdivision as planned, that the lots, blocks, acres and easements are of the dimensions, numbers, names and locations as shown on said plat; and that iron stakes are set at each corner of every lot of said subdivision as indicated hereon.

Gregg A. Stroschein, P.L.S. #10902
 License renewal date: 12-31-15

Date _____
 Pages covered by and _____

True Engineering & Land Surveying, LLC
 325 Howard Road
 Moline, IA 51039
 712-226-0000

**FINAL PLAT
OF
Brosamle Addition**

A MINOR SUBDIVISION
IN GOVERNMENT LOTS 5, 6, 7, AND 8 OF SECTION 1, T88N, R45W OF THE 5TH P.M.,
AN ADDITION TO WOODBURY COUNTY, IOWA

TITLE OPINION

_____, 2025

CONSENT OF OWNERS

Brosamle Farms, LLC, an Iowa limited liability company, certifies that it is the owner of the real estate described in the attached surveyor's certificate; that it has caused the described real estate to be surveyed, staked, and plotted into lots, as is particularly shown and set forth in the attached plat and the certificate of Brosamle Addition; that the listed surveyor who surveyed and plotted the real estate to be known as Brosamle Addition, a minor subdivision in Government Lots 5, 6, 7, and 8 of Section 1, T88N, R45W of the 5th P.M. and addition to Woodbury County, Iowa and that it freely consents to the plotting thereof.

Joelle Pesse Brosamle, Managing Member

Date

State of Iowa

SS

County of Woodbury

On this _____ day of _____, 20____, before me, the undersigned, a notary public in and for the state of Iowa, personally appeared Joelle Pesse, Managing Member of Brosamle Farms, LLC, an Iowa limited liability company, to me known to be the person named in a deed who executed the foregoing instrument, and acknowledged that they executed the same as their voluntary act and deed.

Notary Public in and for the State of Iowa

My Commission Expires _____

RESOLUTION & CERTIFICATE OF WOODBURY COUNTY ZONING COMMISSION OF WOODBURY COUNTY

I, Christine Zellmer-Zant do hereby certify that I am the Chairman of the Woodbury County Zoning Commission of Woodbury County, Iowa and do further certify that said commission has heretofore taken under advisement the Final Plat of Brosamle Addition to Woodbury County, Iowa and that said Woodbury County Zoning Commission of Woodbury County, Iowa, did on the _____ Day of _____, 2025, approve the same and does further recommend to the Woodbury County Board of Supervisors, Woodbury County, Iowa, the acceptance and approval of said plat.

Dated this _____ Day of _____, 20____.

Christine Zellmer-Zant, Chairman
Woodbury County Zoning Commission of Woodbury County, Iowa

BOARD RESOLUTION NO. _____

Resolution accepting and approving the Plat of Brosamle Addition an addition to Woodbury County, Iowa.

Whereas, the Planning and Zoning Commission and the Woodbury County Board of Supervisors have reviewed and approved the Final Plat of Brosamle Addition to Woodbury County, Iowa, and whereas approval of the Final Plat of Brosamle Addition to Woodbury County, Iowa has been recommended to the Woodbury County Board of Supervisors by the Planning and Zoning Commission. Now, therefore be, and it is, resolved by the Woodbury County Board of Supervisors, that said final Plat of Brosamle Addition to Woodbury County, Iowa, as hereto attached and forming part of this Resolution be, and the same hereby is, accepted and approved.

Dated _____, 20____.

ATTEST: WOODBURY COUNTY BOARD OF SUPERVISORS

Michelle K. Skuff, Woodbury County
Auditor and Recorder

Daniel Bittenger, IL, Chairperson

STATE OF IOWA

SS

COUNTY OF WOODBURY

I, Michelle K. Skuff, Woodbury County Auditor and Recorder, do hereby certify that the foregoing is a full, true, and correct copy of a Resolution accepting and approving the Final Plat of Brosamle Addition to Woodbury County, Iowa, which said Resolution was adopted by the Woodbury County Board of Supervisors on the _____ day of _____, 2025 and approved on said date all as full, true and complete as the same appears of record in the Office of said Auditor and Recorder.

Dated _____, 2025

Michelle K. Skuff Woodbury County
Auditor and Recorder

COUNTY ENGINEER'S CERTIFICATE

I, Laura Sievers, P.E., the County Engineer of Woodbury County, Iowa, do hereby certify that I have reviewed the attached plat and have mathematically computed the error of closure of the plat perimeter and of the lots contained therein, and find that said plat conforms with the closure requirements of the Woodbury County Subdivision Ordinance for the Unincorporated area of Woodbury County, Iowa.

Dated _____, 2025

Laura Sievers, P.E., County Engineer for Woodbury County, Iowa

County Auditor and Recorder
Woodbury County, Iowa

Dear Sir/Madame:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Sections 354.1(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: Brosamle Addition, a Minor Subdivision in Government Lots 5, 6, 7, and 8 of Section 1, T88N, R45W of the 5th P.M., an Addition to Woodbury County, Iowa, last certified by Stephen Abner Co., Inc., dated _____, 2025 at 8:39 a.m. and from said abstract find good and marketable title to said premises vested in Brosamle Farms, LLC, an Iowa limited liability company, subject to the following, liens, limitations and exceptions:

1. Easement to Woodbury County Soil and Water Conservation District filed October 28, 1999 on Roll 445, Image 1295.
2. Resolutions Number 6332 and 6333 of the Woodbury County Board of Supervisors recorded on May 12, 1977, on Roll 62, Image 2118 through 2121.
3. Zoning Regulations of the Woodbury County Board of Supervisors dated January 11, 1971, and recorded March 5, 1971, in Book 1263, Pages 9 to 78.
4. Resolution No. 10,455 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7213.
5. Resolution No. 10,456 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7313.
6. Notice filed July 29, 1992 on Roll 266, Image 2343.
7. Resolution No. 9469 filed December 12, 2000 on Roll 475, Image 955.
8. Zoning Ordinance filed February 28, 2023 and recorded on instrument No. 2023-02525 and recorded August 18, 2023 and recorded on instrument No. 2023-07899.
9. All certified real estate taxes and special assessments due have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: _____, 2025.

PATRICK J. PHIPPS
ATTORNEY AT LAW

NOTES

The City Council of Miami, Iowa, pursuant to Authority granted in Iowa Code Section 354.5 Waived the City's Review and Approval of the Final Plat of the Brosamle Addition, as would otherwise be required by the City's Code of Ordinances, with the Adoption of Resolution No. 2025-01 on the 5th day of November, 2025.

AUDITOR AND RECORDER'S CERTIFICATE OF RECORDING

STATE OF IOWA

SS

COUNTY OF WOODBURY

Doc't No. _____

Filed for record, this _____ day of _____, 2025, at _____ o'clock _____ M., recorded in Plat Envelope _____, indexed _____ and delivered to the County Auditor of Woodbury County, Iowa.

Dated _____, 2025

Michelle K. Skuff, Auditor and Recorder, Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy

AUDITOR'S APPROVAL OF SUBDIVISION NAME OR TITLE

The County Auditor hereby accepts and approves the name or title of the attached subdivision Plat as required by Iowa Code section 354.6(2).

Dated _____, 2025

Michelle K. Skuff, Auditor and Recorder, Woodbury County, Iowa
By: Diane Swoboda Peterson, Deputy

TREASURER'S CERTIFICATE OF TAXES AND SPECIAL ASSESSMENTS

I, Tina M. Bertrand, Treasurer of Woodbury County, Iowa, do hereby certify that the land described in the attached and foregoing Surveyor's Certificate is free from certified taxes and certified special assessments.

Dated _____, 2025

Tina M. Bertrand, Treasurer Woodbury County, Iowa

CERTIFICATE OF COUNTY ASSESSOR

I, Tyler Mogensen, hereby certify that on the _____ day of _____, 20____, a copy of this plat was filed in the County Assessor's Office.

Dated:

Tyler Mogensen,
Woodbury County Assessor

FINAL PLAT DISCLAIMER

The final plat may be modified—including additions or corrections to the map, certificates, or any matter shown on the face of the plat—during the review process, including from reviews by the Zoning Commission and the Board of Supervisors, up through the official recording.

ATTACHMENTS ASSOCIATED WITH THIS FINAL PLAT WILL/MAY ALSO BE ADDED AND RECORDED SEPARATELY

- DEDICATION, IF APPLICABLE
- TITLE OPINION OR UPDATED TITLE OPINION, IF APPLICABLE
- RESOLUTION FROM THE NEAREST CITY
- AGREEMENT TO IMPOSE COVENANT BASED UPON LINEAL LOT FRONTAGE, IF APPLICABLE
- MORTGAGE RESOLUTION, IF APPLICABLE
- Etc.

PLANNING AND ZONING STAFF – REVIEW CRITERIA (SUBDIVISION ORDINANCE)

The County's Zoning and Subdivision Ordinances require certain actions from County staff and the Planning and Zoning Commission. Per these requirements, Planning and Zoning staff:

	shall review a subdivision application for completeness and for approval of a final plat by ensuring it is submitted in accordance with the standards for a subdivision plat per Iowa Code.
	Staff reviewed the subdivision application, deemed it complete, and verified the final plat's conformance to the County's Zoning Ordinance, Subdivision Ordinance, and the Code of Iowa, all as required by law.
	shall accept payment of applicable fees, and distribute copies of the final plat to the Planning & Zoning Commission, the appropriate county departments and public utilities; and
	Staff received the application fee and the account is paid-in-full. Staff also distributed copies of the application, final plat, and other materials to all relevant stakeholders as required.
	shall coordinate with the County Engineer who shall review the final plat to determine conformance with the engineering design standards of these regulations and to verify accuracy of the legal descriptions and survey data; and
	Staff have received written confirmation that the County Engineer has reviewed and determined that the final plat conforms to the engineering and design standards of these regulations, and he has verified the accuracy of the legal descriptions and survey data.
	shall review the final plat to determine conformance with the design standards of these regulations and with the required form of the plat and related documents; and
	Staff verified that the final plat conforms to the design standards of these regulations, as well as the required form of the final plat.
	shall assure conformance with the goals and objectives of the County's General Plan, the CED staff may make recommendations for conditions for approval including use restrictions required to preserve and improve the peace, safety, health, welfare, comfort, and convenience of the future residents of the subdivision and neighboring properties.
	Staff attest to the final plat conforming to the goals and objectives of the county plan. Staff recommends approval of the final plat.

ZONING COMMISSION – REVIEW CRITERIA (SUBDIVISION ORDINANCE)

The County's Zoning and Subdivision Ordinances require certain actions from County staff and the Planning and Zoning Commission. Per these requirements, the Planning and Zoning Commission:

	shall conduct a public hearing on a final plat for a minor subdivision. Notice of the date, time and location of the hearing will be mailed to the owners of all property within 1,000 feet for the subject property not less than four nor more than twenty days prior to the date of the hearing; and
	Staff have ensured that the legal requirements have been met for publicly noticing this public hearing, all as required by law. Staff have also ensured the notice requirement for adjacent landowners within 1000 FT have also been met.
	shall review the final plat and the staff reports and other information presented to determine whether the plat conforms to the ordinances, general plan and other policies of the county; and
	Staff have compiled, reviewed, and analyzed all relevant materials to determine whether the plat conforms to the ordinances, general plan, and other policies of the County, or not. Staff provided this information in a "Staff Report" format and made them available to the Commission well in advance of the required public hearing. The Commission also held a public hearing to review, analyze, and discuss the final plat and other relevant information.
	may recommend specific conditions for approval including use restrictions required to preserve and improve the peace, safety, health, welfare, comfort, and convenience of the future residents of the subdivision and neighboring properties; and
	Staff does not recommend any specific conditions for this final plat. However, specific conditions (if any) may be recommended by the Commission.
	shall forward a report of its finding and a recommendation to the Board of Supervisors. The recommendation shall be in the form of a resolution to be certified as part of the final plat materials. A copy of the report and the resolution shall also be forwarded to the property owner, the subdivider and the land surveyor for the subdivision.
	During its required public hearing on the final plat, the Board of Supervisors will receive the final staff report and the Commission's recommendation on said plat and shall approve, approve with conditions, or disapprove the plat. The Supervisors may table the matter with the consent of the subdivider. Approval shall be in the form of a resolution to be certified as part of the final plat. Staff will coordinate with the subdivider and land surveyor to ensure all copies and recordings are submitted and received, all as required by law.

RESOLUTION NO. 2025-14

Council Member Rapp introduced the following Resolution entitled "RESOLUTION WAIVING THE RIGHT TO FURTHER REVIEW THE PLAT OF BROSAMLE ADDITION, A MINOR SUBDIVISION TO WOODBURY COUNTY, IOWA" and moved that it be adopted. Council Member Mellies seconded the motion to adopt, and the roll being called thereon, the vote was as follows:

AYES: Hayworth, Malm, Rapp, Parks, Mellies

NAYS: None

Whereupon, the Mayor declared said Resolution duly adopted as follows:

RESOLUTION WAIVING THE RIGHT TO FURTHER
REVIEW THE PLAT OF BROSAMLE ADDITION, A
MINOR SUBDIVISION TO WOODBURY COUNTY,
IOWA

WHEREAS, the Developer has requested the City waive the right to further review the Plat of Brosamle Addition, A minor subdivision to Woodbury County, Iowa; and

WHEREAS, the Planning and Zoning Commission has recommended that the City Council waive the right to further review the Plat of Brosamle Addition, A minor subdivision to Woodbury County, Iowa;

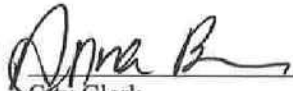
Now, therefore, be it resolved by the City Council of the City of Merville, State of Iowa, that the City Council waives the right to further review the Plat of Brosamle Addition, A minor subdivision to Woodbury County, Iowa.

PASSED AND APPROVED this 5th day of November, 2025.



Mayor

ATTEST:



City Clerk

Sioux City Journal
AFFIDAVIT OF PUBLICATION

Sioux City Journal
 2802 Castles Gate Drive
 Sioux City 51106
 (712) 293-4250

State of Florida, County of Orange, ss:

Edmar Corachia, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Sioux City Journal, printed and published by Journal Communications, in Sioux City in Woodbury County and issued daily and Sunday and that this affidavit is Page 1 of 2 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:
 Nov. 13, 2025

NOTICE ID: 390IHtHIHPGgIqDh7sr
PUBLISHER ID: COL-IA-502532
NOTICE NAME: ZC_11-24-25_MEETING
Publication Fee: \$99.96

Edmar Corachia

(Signed)

VERIFICATION

State of Florida
 County of Orange

Subscribed in my presence and sworn to before me on this: 11/14/2025

Notary Public
 Notarized remotely online using communication technology via Proof.

**NOTICE OF PUBLIC HEARINGS
 BEFORE THE WOODBURY
 COUNTY ZONING COMMISSION**

The Woodbury County Zoning Commission will have a public meeting and will hold public hearings on the following items (petition to be acted on) on Monday, November 24, 2025 at 5:00 PM or as soon thereafter as the matters may be considered. Said public hearings will be held in the Board of Supervisors meeting room in the basement of the Woodbury County Courthouse, 401 Douglas Street, Sioux City, Iowa. Copies of said items may now be reviewed at the office of the Woodbury County Community and Economic Development, on the 6th floor of said courthouse by any interested persons. All persons who wish to be heard in respect to these matters should appear at the aforesaid public hearings in person or call 712-293-4250 and enter the Conference ID: 638 383 0374 during the meeting to enter or comment. However, it is recommended to attend in person as there is the possibility for technical difficulties with phone and computer systems. You may forward your written comments by mail or email to: Woodbury County Community and Economic Development, 6th Floor, Woodbury County Courthouse, 401 Douglas St., Sioux City, IA 51101. Email should be sent to: CDE@woodburycountyiowa.gov. Only signed comments will be considered and should be received no later than 11:00 AM on Fri. Nov. 21, 2025.

Item One (1)

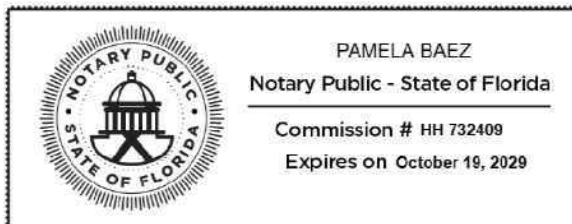
MINOR SUBDIVISION
 PROPOSED MINOR SUBDIVISION: The lot within an Existing Addition, Grouped Farms, LLC was submitted an application for a two-acre minor subdivision. The proposed subdivision includes a division of 150.27 acres into four government lots into two lots, Lot 1, containing 125.25 acres, and Lot 2, containing 25.02 acres. The subject map enters, verified as: P0445020000, #B45020004, #B45020005, and #B45020006, are located in Section 1, T10N R15E, M15E Township, within Government Lots 5, 6, 7, and 8. The subject map is located within the Agricultural Preservation (AP) zoning district. The properties are located about 1/2 mile south of M15E, south of 160th Street and west of 16th Avenue.

Item Two (2)
ZONING ORDINANCE MAP AMENDMENT (REZONE)

PROPOSED ZONING ORDINANCE MAP AMENDMENT (REZONE): Pursuant to Section 336 of the Code of Iowa, the Woodbury County Zoning Commission will hold a public hearing to consider the application for a zoning ordinance map amendment (rezone) to the Woodbury County Zoning Ordinance. The subject map for the Unincorporated Area of Woodbury County is by Doug Jensen of Jensen Holdings LLC, 300 Oakesdale Dr., Ste. 205, North Sioux City, SD 57049.

The property is located within the Agricultural Preservation (AP) zoning district in the Agricultural Estates (AE) zoning district for a 250-acre portion of the property located in the Southwest quarter of the Northwest quarter (SW1/4 NW1/4), Northeast quarter of the Southwest quarter (NE1/4 SW1/4), and Northwest quarter of the Southwest quarter (NW1/4 SW1/4) of Section 24, Township 67 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GSD Project 45-462-0001 and is located as follows: Those portions of the Southwest quarter of the Northwest quarter (SW1/4 NW1/4), Northeast quarter of the Southwest quarter (NE1/4 SW1/4), and Northwest quarter of the Southwest quarter (NW1/4 SW1/4) of Section 24, Township 67 North, Range 46 West of the 5th P.M., Woodbury County, Iowa, described as follows:

Beginning at the center quarter corner of said Section 24, thence South 89°50'00" East along the north line of the SE1/4 of said Section 24 for a distance of 331.35 feet; thence South 89°50'00" East a distance of 133.33 feet; thence South 00°30'42" West for a distance of 550.00 feet to the south line of the Northwest quarter of said Section 24; thence North 89°01'11" West along said south line for a distance of 720.00 feet to the southwest corner of said NW1/4-SW1/4; thence North 24°54'55" West for a distance of 1436.21 feet to the north line of the NE1/4-SW1/4; or said Section 24; thence North 89°17'08" West along said north line for a distance of 720.00 feet; thence North 00°40'00" East for a distance of 331.35 feet to the southeast corner of said Section 24; thence



Orange Ave) as described in legal description found on Roll 156, Image 1615 in the Woodbury County Recorder's Office, thence South 47°08'00" East along said centerline for a distance of 84.54 feet; thence South 60°47'11" East along said centerline for a distance of 213.82 feet; thence North 68°29'30" East along said centerline for a distance of 160.55 feet; thence North 74°44'40" East along said centerline for a distance of 511.50 feet to the east line of the NW1/4 of said Section 24; thence South 00°08'36" West for a distance of 524.17 feet to the Point of Beginning, containing 36.50 acres more or less. Subject to easements, if any, of record or apparent.

Item Three (3)

MINOR SUBDIVISION


PROPOSED MINOR SUBDIVISION: To be known as 252nd Overlook. Doug Skinner of Skinner Holdings LLC has submitted an application for a minor subdivision. The proposed minor subdivision, named 252nd Overlook, is for a 96.50-acre portion of the property including up to five (5) lots located in the Southeast quarter of the Northwest quarter (SE1/4-NW1/4), Northeast quarter of the Southwest quarter (NE1/4-SW1/4), and Northwest quarter of the Southeast quarter (NW1/4-SE1/4) of Section 24, Township 87 North, Range 46 West of the 5th P.M., Woodbury County, Iowa. The property is known as GIS Parcel #674624200011. The property is situated at 2374 252nd St., Homick, IA 51026, approximately six miles south of Bronson, seven miles east of Osak and seven miles north of Homick, east of Old Highway 141, west of Franklin Avenue, and on the south side of 252nd Street. Additionally, Doug Skinner (Skinner Holdings LLC) has applied for a Zoning Ordinance Map Amendment to rezone the aforementioned property from the Agricultural Preservation (AP) Zoning District to the Agricultural Estates (AE) Zoning District. This rezoning is proposed to accommodate the future development of the lots, which is required under Section 5.01.1 B of the Woodbury County Zoning Ordinance.

OOL-1A-502532

PUBLIC COMMENTS RECEIVED AFTER PACKET DISTRIBUTION

Public comments submitted after the initial packet distribution will still be accepted for the public record. Such comments will continue to be collected and will be requested for inclusion in the public record at the meeting when the related agenda item is considered, so the Zoning Commission and Board of Supervisors can review them.

PROPERTY OWNER(S) NOTIFICATION

Total Property Owners within 1000 FT via Certified Abstractor's Listing:	12	
Notification Letter Date:	November 10, 2025	
Public Hearing Board:	Zoning Commission	
Public Hearing Date:	November 24, 2025	
Phone Inquiries:	3 (Darloe Janssen, Kelly Weaver, Rick Davis)	
Written Inquiries:	0	
The names of the property owners are listed below.		
When more comments are received after the printing of this packet, they will be provided at the meeting.		

PROPERTY OWNER(S)	MAILING ADDRESS				COMMENTS
Brosamle Farms, LLC	2561 150th Street	Moville	IA	51039	No written comments.
Dustin Brosamle and Lindee Brosamle	1625 Ida Avenue	Moville	IA	51039	No written comments.
Ryan J. Thomas, Jacob L. Thomas, Bo R. Thomas with Life Estate to Janet M. Thomas	718 Logan Drive	Moville	IA	51039	No written comments.
Steve Christiansen and Barbara Christiansen	9 Pinney Road	Moville	IA	51039-7500	No written comments.
REJ Farm Enterprises, Inc.	4620 Grant St.	Sioux City	IA	51108-1120	Darloe Janssen inquired about if this was a housing developed. Concerned about additional houses. – 11/10/22
The Patrick Weaver & Terri Weaver Revocable Trust dated August 27, 2020	1638 Hancock Avenue	Moville	IA	51039-8148	No written comments.
Carol U. Logan Revocable Trust dated November 8, 2023	PO Box 189	Moville	IA	51039-0189	No written comments.
Bo R. Thomas and Kari L. Thomas	1628 Ida Avenue	Moville	IA	51039	No written comments.
Kelly M. Weaver Trust dated August 30, 2017 and Susanne L. Weaver Trust dated August 30, 2017	634 South St.	Moville	IA	51039	Phone inquiry on 11/12/25. No written comments.
Jeffrey M. Mahlberg	1599 Ida Ave.	Moville	IA	51039	No written comments.
Janet M. Thomas and Bo R. Thomas	1628 Ida Avenue	Moville	IA	51039	No written comments.
Richard Davis and Cynthia Davis	2967 185th St.	Moville	IA	51039	Phone inquiry on 11/12/25. No written comments.

MEDIA INQUIRY

Received an inquiry from Gerri Hunter from the Moville Record on Monday, November 10, 2025 about the Brosamle Addition for an article. Had a question about the acre amounts.

STAKEHOLDER COMMENTS

911 COMMUNICATIONS CENTER:	No comments received.
CITY OF LAWTON:	No comments received.
FIBERCOMM:	No comments received.
IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR):	No comments received.
IOWA DEPARTMENT OF TRANSPORTATION (IDOT):	No comments received.
LOESS HILLS NATIONAL SCENIC BYWAY:	No comments received.
LOESS HILLS PROGRAM:	No comments received.
LONGLINES:	No comments received.
LUMEN:	No comments received.
MAGELLAN PIPELINE:	No comments received.
MIDAMERICAN ENERGY COMPANY (Electrical Division):	I have reviewed the following proposed minor subdivision for MEC electric and, we have no comments. – Casey Meinen, 10/7/25.
MIDAMERICAN ENERGY COMPANY (Gas Division):	No comments received.

NATURAL RESOURCES CONSERVATION SERVICES (NRCS):	No comments received.
NORTHERN NATURAL GAS:	No comments received.
NORTHWEST IOWA POWER COOPERATIVE (NIPCO):	No comments received.
NUSTAR PIPELINE:	No comments received.
SIOUXLAND DISTRICT HEALTH DEPARTMENT:	No comments received.
WIATEL:	No comments received.
WINNEBAGO TRIBE:	No comments received.
WOODBURY COUNTY ASSESSOR:	No comments received.
WOODBURY COUNTY AUDITOR:	No comments received.
WOODBURY COUNTY CONSERVATION:	No comments received.
WOODBURY COUNTY EMERGENCY MANAGEMENT:	No comments received.
WOODBURY COUNTY EMERGENCY SERVICES:	No comments received.
WOODBURY COUNTY ENGINEER:	No comments received.
WOODBURY COUNTY RECORDER:	<p>I've reviewed the proposed plat.</p> <p>1—Auditor's Approval of Subdivision or Title certificate. Could the date line be made longer? I like to write out the name of the month and the next five months have long spellings.</p> <p>2—Auditor and Recorder's Certificate of Recording certificate. Could the Docket No. line be made longer as docket numbers are the year, a dash, and five numbers. Could the month line and Envelope number line be made longer AND if has to be two lines, double space pleas? Could the date line be made longer? I like to write out the name of the month and the next five months have long spellings.</p> <p>3—All date lines, both in certificates and by signatures, need to be longer please.</p> <p>4—All signature lines need to be longer please.</p> <p>-Diane Swoboda Peterson, 10/7/25.</p>
WOODBURY COUNTY RURAL ELECTRIC COOPERATIVE (REC):	No comments received.
WOODBURY COUNTY SHERIFF:	No comments received.
WOODBURY COUNTY SOIL AND WATER CONSERVATION DISTRICT:	No comments received.
WOODBURY COUNTY TREASURER:	<p>2nd half 2024 taxes (March payment) is outstanding and would need to be paid prior to combo/split. Note that 2025 taxes and possibly 2026 taxes will be billed per the original parcel numbers depending on the date the subdivision is officially filed. – Tina Bertrand, 10/7/25.</p>



Woodbury County Secondary Roads Department

759 E. Frontage Road • Merville, Iowa 51039

Telephone (712) 279-6484 • (712) 873-3215 • Fax (712) 873-3235

To: Dan Priestley, Woodbury County Zoning Coordinator

From: Laura Sievers, PE, Woodbury County Engineer

Date: November 19, 2025

Subject: Brosamle Addition – Minor Subdivision.

The Secondary Roads Department has reviewed the Brosamle Addition Minor Subdivision. The plat closure appears to be in compliance with Section 355.8 of the Code of Iowa.

The plat does not identify any proposed new entrance or access locations to the County road system. If new access points are intended, the developer and any future landowner will need to coordinate with the County Engineer's Office to ensure adequate sight distance and to obtain the required entrance permit. Any modifications to the existing entrance will also require a permit and must meet current entrance standards.

LEGEND:

- FOR POINTS NOT SHOWN, DIMENSIONS OTHERWISE INDICATED
- SEE PLAN FOR REBAR W/ CAP #10902

NOTES:

- All Bearings and Distances are Measured Unless Otherwise Indicated

Zoning: AP, Ag Preservation

Building Setback Lines:
Front: 100'
Rear: 50'
Side: 20'

Statistical Data:
Area of Subdivision = 34.34 Acres
Street Right-of-way = 1.21 Acres
Lots: 2

Point of Beginning
SW Corner Gov't Lot 8
and Center of Section
1-88-45
3/4" Rebar w/ Cap #10902

Lot 1
Total: 20.51 Acres
R.O.W.: 0.34 Acres
Net: 19.17 Acres

Lot 2
Total: 13.83 Acres
R.O.W.: 1.36 Acres
Net: 12.47 Acres

Government Lot 5
NW Cor. Government Lot 5
1-88-45
3/4" Rebar w/ Cap #10902

Government Lot 6
NE Cor. Gov't Lot 6
1-88-45
SE Cor. Gov't Lot 6
1-88-45
3/4" Rebar w/ Cap #10902

Ida Avenue

Scale: 1" = 300'

Certification:
I, Gregg A.
certify the
line, block
plan, and

TITLE OPINION

County Auditor and Recorder
Woodbury County, Iowa

Dear Sir/Madam:

We have this date examined a complete abstract to Title, pursuant to Iowa Code Section 354.11(1)(c) to property which includes in its entirety, property described in the surveyor's certificate on the plat of: Brosamle Addition, a Minor Subdivision in Government Lots 5, 6, 7, and 8 of Section 1, T88N, R45W of the 5th P.M., an Addition to Woodbury County, Iowa last certified by Engleson Abstract Co., Inc., dated _____, 2025 at 8:59 a.m. and from said abstract find good and merchantable title to said premises vested in Brosamle Farms, LLC, an Iowa limited liability company, subject to the following, liens, limitations and exceptions:

1. Easement to Woodbury County Soil and Water Conservation District filed October 28, 1999 on Roll 445, Image 1295.
2. Resolutions Number 6332 and 6333 of the Woodbury County Board of Supervisors recorded on May 12, 1977, on Roll 62, Images 2118 through 2121.
3. Zoning Regulations of the Woodbury County Board of Supervisors dated January 11, 1971, and recorded March 5, 1971, in Book 1263, Pages 9 to 78.
4. Resolution No. 10,455 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7213.
5. Resolution No. 10,456 adopted by the Woodbury County, Iowa, Board of Supervisors dated July 29, 2008, and recorded August 29, 2008, on Roll 699, Image 7313.
6. Notice filed July 29, 1992 on Roll 266, Image 2343.
7. Resolution No. 9460 filed December 12, 2000 on Roll 475, Image 935.
8. Zoning Ordinances filed February 28, 2022 and recorded on instrument No. 2022-02525 and recorded August 18, 2023 and recorded on instrument No. 2023-07899.
9. All certified real estate taxes and special assessments due have been paid. Real estate taxes and special assessments not certified are a lien in an undetermined amount.

Dated: _____, 2025.

PATRICK J. PHIPPS
ATTORNEY AT LAW

Woodbury County, IA / Sioux City

Summary

Parcel ID 884501200002
Alternate ID 802245
Property Address N/A
Sec/Twp/Rng 1-88-45
Brief Tax Description GOVT LOTS 1-88-45
 (Note: Not to be used on legal documents)
Deed Book/Page 761-7603 (11/2/2018)
Gross Acres 40.00
Net Acres 40.00
Adjusted CSR Pts 1609.07
Zoning AP - AGRICULTURAL PRESERVATION
District 0053 MOVILLE/WD-C
School District WOODBURY CENTRAL
Neighborhood N/A

Owner

Deed Holder
 BROSAMLE FARMS, LLC
 2561 150TH ST.
 MOVILLE IA 51039
Contract Holder
Mailing Address
 JOELLE PEASE
 1815 BERRY ST
 SIOUX CITY IA 51103

Land

Lot Area 40.00 Acres ;1,742,400 SF

Sales

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Multi Parcel	Amount
11/27/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC	762-4189	Sale between family members or related parties	Deed		\$411,750.00
11/21/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC & DAVID BROSAMLE ETAL	762-8729	Sale between family members or related parties	Deed		\$411,750.00
11/19/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS LLC	762-4183	Sale between family members or related parties	Deed		\$411,750.00
11/2/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC	762-4195	Sale between family members or related parties	Deed		\$411,750.00
11/2/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS LLC	762-4177	Sale between family members or related parties	Deed		\$411,750.00
10/31/2018	BROSAMLE LENORE LE	BROSAMLE DAVID ETAL	761-7603	Exchange, trade, gift, transfer from Estate (Including 1031 Exchanges)	Deed		\$0.00

☐ Show There are other parcels involved in one or more of the above sales:

Valuation

	2025	2024	2023	2022	2021
Classification	Agriculture	Agriculture	Agriculture	Agriculture	Agriculture
+ Assessed Land Value	\$61,860	\$52,450	\$52,450	\$40,740	\$40,740
+ Assessed Building Value	\$0	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0	\$0	\$0	\$0
= Gross Assessed Value	\$61,860	\$52,450	\$52,450	\$40,740	\$40,740
- Exempt Value	\$0	\$0	\$0	\$0	\$0
= Net Assessed Value	\$61,860	\$52,450	\$52,450	\$40,740	\$40,740

Sioux City Special Assessments and Fees

[Click here to view special assessment information for this parcel.](#)

Woodbury County Tax Credit Applications

Apply for Homestead or Military Tax Credit

No data available for the following modules: Residential Dwellings, Commercial Buildings, Agricultural Buildings, Yard Extras, Permits, Sioux City Tax Credit Applications, Sioux

Woodbury County, IA / Sioux City

Summary

Parcel ID 884501200004
Alternate ID 802290
Property Address N/A
Sec/Twp/Rng 1-88-45
Brief Tax Description LOT8 1-88-45
 (Note: Not to be used on legal documents)
Deed Book/Page 761-7603 (11/2/2018)
Gross Acres 40.00
Net Acres 40.00
Adjusted CSR Pts 1920.29
Zoning AP - AGRICULTURAL PRESERVATION
District 0053 MOVILLE/WD-C
School District WOODBURY CENTRAL
Neighborhood N/A

Owner

Deed Holder
BROSAMLE FARMS, LLC
2561 150TH ST.
 MOVILLE IA 51039
Contract Holder
Mailing Address
 JOELLE PEASE
 1815 BERRY ST
 SIOUX CITY IA 51103

Land

Lot Area 40.00 Acres ;1,742,400 SF

Sales

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Multi Parcel	Amount
11/21/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC	762-8729	Sale between family members or related parties	Deed		\$0.00
10/31/2018	BROSAMLE LENORE LE	BROSAMLE DAVID ETAL	761-7603	Exchange, trade, gift, transfer from Estate (Including 1031 Exchanges)	Deed		\$0.00

☐ Show There are other parcels involved in one or more of the above sales:

Valuation

	2025	2024	2023	2022	2021
Classification	Agriculture	Agriculture	Agriculture	Agriculture	Agriculture
+ Assessed Land Value	\$73,790	\$62,570	\$62,570	\$48,600	\$48,600
+ Assessed Building Value	\$0	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0	\$0	\$0	\$0
= Gross Assessed Value	\$73,790	\$62,570	\$62,570	\$48,600	\$48,600
- Exempt Value	\$0	\$0	\$0	\$0	\$0
= Net Assessed Value	\$73,790	\$62,570	\$62,570	\$48,600	\$48,600

Sioux City Special Assessments and Fees

[Click here to view special assessment information for this parcel.](#)

Woodbury County Tax Credit Applications

Apply for Homestead or Military Tax Credit

No data available for the following modules: Residential Dwellings, Commercial Buildings, Agricultural Buildings, Yard Extras, Permits, Sioux City Tax Credit Applications, Sioux City Board of Review Petition, Photos, Sketches.

Woodbury County, IA / Sioux City

Summary

Parcel ID 884501200005
Alternate ID 802275
Property Address N/A
Sec/Twp/Rng 1-88-45
Brief Tax Description GOVT LOT7 1-88-45
 (Note: Not to be used on legal documents)
Deed Book/Page 761-7603 (11/2/2018)
Gross Acres 39.00
Net Acres 39.00
Adjusted CSR Pts 2108.12
Zoning AP - AGRICULTURAL PRESERVATION
District 0053 MOVILLE/WD-C
School District WOODBURY CENTRAL
Neighborhood N/A

Owner

Deed Holder
BROSAMLE FARMS, LLC
2561 150TH ST.
 MOVILLE IA 51039
Contract Holder
Mailing Address
 JOELLE PEASE
 1815 BERRY ST
 SIOUX CITY IA 51103

Land

Lot Area 39.00 Acres ;1,698,840 SF

Sales

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Multi Parcel	Amount
11/21/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC & DAVID BROSAMLE ETAL	762-8729	Sale between family members or related parties	Deed		\$0.00
10/31/2018	BROSAMLE LENORE LE	BROSAMLE DAVID ETAL	761-7603	Exchange, trade, gift, transfer from Estate (Including 1031 Exchanges)	Deed		\$0.00

☐ Show There are other parcels involved in one or more of the above sales:

Valuation

	2025	2024	2023	2022	2021
Classification	Agriculture	Agriculture	Agriculture	Agriculture	Agriculture
+ Assessed Land Value	\$80,800	\$68,500	\$68,500	\$53,210	\$53,210
+ Assessed Building Value	\$0	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0	\$0	\$0	\$0
= Gross Assessed Value	\$80,800	\$68,500	\$68,500	\$53,210	\$53,210
- Exempt Value	\$0	\$0	\$0	\$0	\$0
= Net Assessed Value	\$80,800	\$68,500	\$68,500	\$53,210	\$53,210

Sioux City Special Assessments and Fees

[Click here to view special assessment information for this parcel.](#)

Woodbury County Tax Credit Applications

Apply for Homestead or Military Tax Credit

No data available for the following modules: Residential Dwellings, Commercial Buildings, Agricultural Buildings, Yard Extras, Permits, Sioux City Tax Credit Applications, Sioux City Board of Review Petition, Photos, Sketches.

Woodbury County, IA / Sioux City

Summary

Parcel ID 884501200006
Alternate ID 802261
Property Address N/A
Sec/Twp/Rng 1-88-45
Brief MOVILLE TOWNSHIP GOVT LOT6 1-88-45(EX AN IRREG TCT COM AT NE COR OF SEC 1 THNC S 1225.96'TO POB;THNC S 804.59'THNC W
Tax Description 545.88;THNC N 213.55;THNC NE 68.58;THNC N 562.86;THNC E 477.74'TO POB)
(Note: Not to be used on legal documents)
Deed Book/Page 762-1714 (12/3/2019)
Gross Acres 30.56
Net Acres 30.56
Adjusted CSR Pts 1673.74
Zoning AP - AGRICULTURAL PRESERVATION
District 0053 MOVILLE/WD-C
School District WOODBURY CENTRAL
Neighborhood N/A

Owner

Deed Holder
 BROSAMLE FARMS LLC
 2561 150TH ST
 MOVILLE IA 51039
Contract Holder
Mailing Address
 JOELLE PEASE
 1815 BERRY ST
 SIOUX CITY IA 51103

Land

Lot Area 30.56 Acres;1,331,194 SF

Sales

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Mult Parcel	Amount
12/14/2018	BROSAMLE DAVID ETAL	BROSAMLE FARMS, LLC	762-4189	Exchange, trade, gift, transfer from Estate (Including 1031 Exchanges)	Deed		\$0.00
11/21/2018	BROSAMLE FARMS LLC	BROSAMLE FARMS, LLC & DAVID BROSAMLE ETAL	762-8729	Sale between family members or related parties	Deed		\$0.00
10/31/2018	BROSAMLE LENORE LE	BROSAMLE DAVID ETAL	761-7603	Exchange, trade, gift, transfer from Estate (Including 1031 Exchanges)	Deed		\$0.00

☐ Show There are other parcels involved in one or more of the above sales:

Valuation

	2025	2024	2023	2022	2021
Classification	Agriculture	Agriculture	Agriculture	Agriculture	Agriculture
+ Assessed Land Value	\$64,300	\$54,510	\$54,510	\$42,340	\$42,340
+ Assessed Building Value	\$0	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0	\$0	\$0	\$0
= Gross Assessed Value	\$64,300	\$54,510	\$54,510	\$42,340	\$42,340
- Exempt Value	\$0	\$0	\$0	\$0	\$0
= Net Assessed Value	\$64,300	\$54,510	\$54,510	\$42,340	\$42,340

Sioux City Special Assessments and Fees

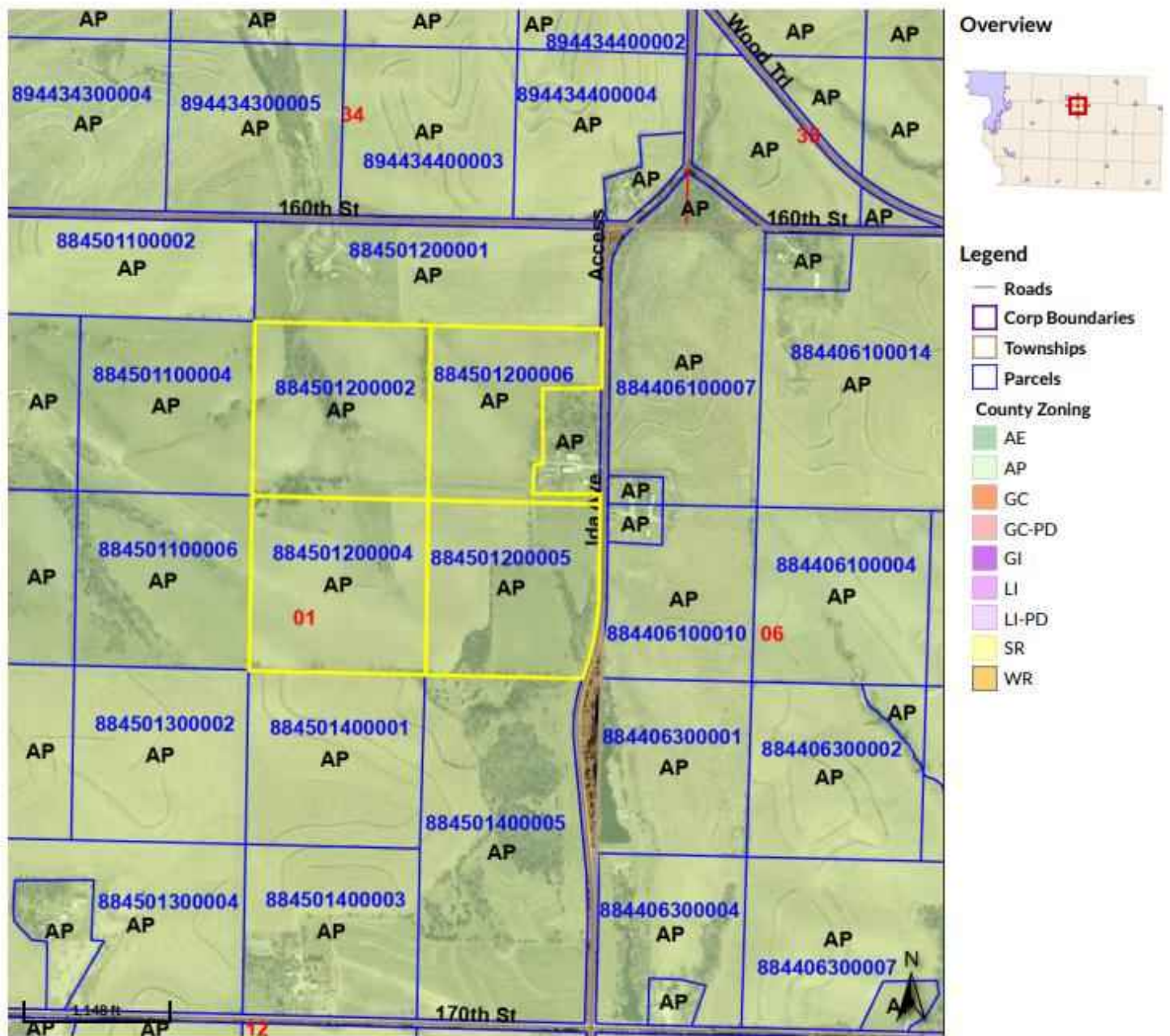
[Click here to view special assessment information for this parcel.](#)

Woodbury County Tax Credit Applications

Apply for Homestead or Military Tax Credit

No data available for the following modules: Residential Dwellings, Commercial Buildings, Agricultural Buildings, Yard Extras, Permits, Sioux City Tax Credit Applications, Sioux City Board of Review Petition, Photos, Sketches.

ZONING MAP



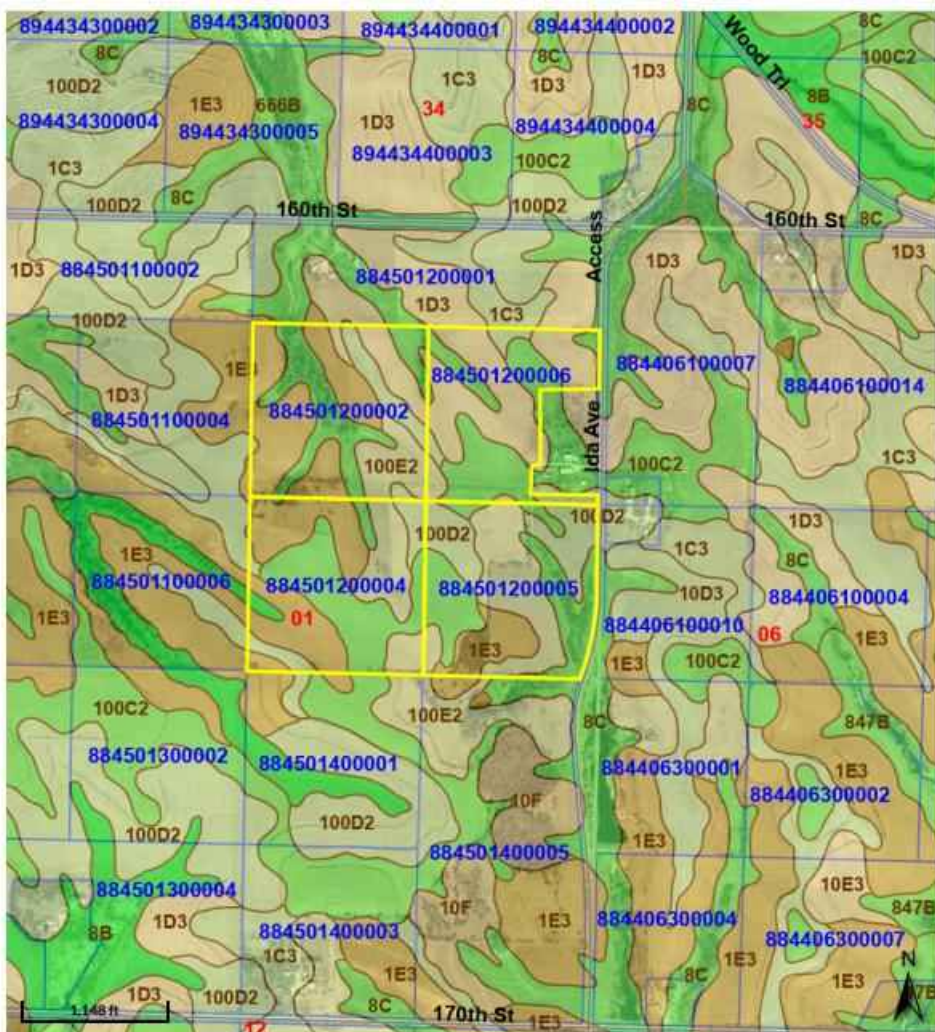
SPECIAL FLOOD HAZARD AREA (SFHA) MAP

Property not within the floodplain.

ELEVATION MAP



SOIL REPORT



Overview



Legend

- Roads
- Soils
 - 0.000000 - 5.000000
 - 5.000001 - 20.000000
 - 20.000001 - 30.000000
 - 30.000001 - 40.000000
 - 40.000001 - 50.000000
 - 50.000001 - 60.000000
 - 60.000001 - 70.000000
 - 70.000001 - 80.000000
 - 80.000001 - 90.000000
 - 90.000001 - 100.000000
- Corp Boundaries
- Townships
- Parcels

Summary

Parcel ID	884501200002
Gross Acres	40.00
ROW Acres	0.00
Gross Taxable Acres	40.00
Exempt Acres	0.00
Net Taxable Acres	40.00
Average Unadjusted CSR2	45.45
	(Gross Taxable Acres - Exempt Land)
	(1818.14 CSR2 Points / 40 Gross Taxable Acres)

Aglond Active Config 2025

Sub Parcel Summary

Description	Acres	CSR2	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	32.02	41.27	1,321.56	1,321.56
Non-Crop	7.98	62.23	496.58	296.38
Total	40.00		1,818.14	1,617.94

Soil Summary

Description	SMS	Soil Name	CSR2	Adjusted Acres	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	666B	Smithland-Danbury-Judson complex, 0 to 5 percent slopes	60.00	5.69	516.32	516.32
100% Value	100C2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	0.39	23.40	23.40
100% Value	1C3	Ida silt loam, 5 to 9 percent slopes, severely eroded	58.00	3.30	191.40	191.40
100% Value	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	4.48	206.08	206.08
100% Value	1D5	Ida silt loam, 9 to 14 percent slopes, severely eroded	32.00	4.22	135.04	135.04
100% Value	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	13.74	247.32	247.32
Non-Crop	666B	Smithland-Danbury-Judson complex, 0 to 5 percent slopes	88.00	4.76	418.88	226.24
Non-Crop	100C2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	0.01	0.60	0.39
Non-Crop	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	0.69	31.74	24.39
Non-Crop	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	2.52	45.36	45.36
Total				40.00	1,818.14	1,617.94

Summary

Parcel ID	884501200004
Gross Acres	40.00
ROW Acres	0.00
Gross Taxable Acres	40.00
Exempt Acres	0.00
Net Taxable Acres	40.00
Average Unadjusted CSR2	50.14
	(Gross Taxable Acres - Exempt Land)
	(2006.51 CSR2 Points / 40 Gross Taxable Acres)

Aglond Active Config 2025

Sub Parcel Summary

Description	Acres	CSR2	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	29.96	55.27	1,655.82	1,655.82
Non-Crop	10.04	34.93	350.69	267.85
Total	40.00		2,006.51	1,923.67

Soil Summary

Description	SMS	Soil Name	CSR2	Adjusted Acres	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	8B	Judson silty clay loam, deep loess, 2 to 5 percent slopes	92.00	0.71	65.32	65.32
100% Value	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	11.62	1,004.70	1,004.70
100% Value	100D2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	1.59	95.40	95.40
100% Value	1C3	Ida silt loam, 5 to 9 percent slopes, severely eroded	58.00	1.66	96.28	96.28
100% Value	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	4.96	228.16	228.16
100% Value	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	9.22	165.96	165.96
Non-Crop	666B	Smithland-Danbury-Judson complex, 0 to 5 percent slopes	88.00	0.90	79.20	42.78
Non-Crop	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	0.43	36.55	20.06
Non-Crop	1C3	Ida silt loam, 5 to 9 percent slopes, severely eroded	58.00	0.05	2.90	1.94
Non-Crop	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	2.72	125.12	96.15
Non-Crop	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	5.94	106.92	106.92
Total				40.00	2,006.51	1,923.67

Summary

Parcel ID	884501200005
Gross Acres	39.00
ROW Acres	0.00
Gross Taxable Acres	39.00
Exempt Acres	0.00
Net Taxable Acres	39.00 (Gross Taxable Acres - Exempt Land)
Average Unadjusted CSR2	58.58 (2284.48 CSR2 Points / 39 Gross Taxable Acres)

Agland Active Config

2025

Sub Parcel Summary

Description	Acres	CSR2	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	32.23	57.60	1,856.42	1,856.42
Non-Crop	6.77	63.23	428.06	256.72
Total	39.00		2,284.48	2,113.14

Soil Summary

Description	SMS	Soil Name	CSR2	Adjusted Acres	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	8C	Judson silty clay loam, deep loess, 5 to 9 percent slopes	87.00	2.31	200.97	200.97
100% Value	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	6.59	560.15	560.15
100% Value	100D2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	8.34	500.40	500.40
100% Value	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	11.61	534.06	534.06
100% Value	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	3.38	60.84	60.84
Non-Crop	8C	Judson silty clay loam, deep loess, 5 to 9 percent slopes	87.00	3.91	340.17	184.71
Non-Crop	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	0.09	7.65	4.20
Non-Crop	100D2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	0.19	11.40	7.49
Non-Crop	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	0.80	36.80	28.28
Non-Crop	1E3	Ida silt loam, 14 to 20 percent slopes, severely eroded	18.00	1.78	32.04	32.04
Total				39.00	2,284.48	2,113.14

Summary

Parcel ID	884501200006
Gross Acres	30.56
ROW Acres	0.00
Gross Taxable Acres	30.56
Exempt Acres	0.00
Net Taxable Acres	30.56 (Gross Taxable Acres - Exempt Land)
Average Unadjusted CSR2	55.14 (1,685.1 CSR2 Points / 30.56 Gross Taxable Acres)

Agland Active Config

2025

Sub Parcel Summary

Description	Acres	CSR2	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	29.91	55.15	1,649.46	1,649.46
Non-Crop	0.65	54.83	35.64	24.64
Total	30.56		1,685.10	1,674.10

Soil Summary

Description	SMS	Soil Name	CSR2	Adjusted Acres	Unadjusted CSR2 Points	Adjusted CSR2 Points
100% Value	666B	Smithland-Danbury-Judson complex, 0 to 5 percent slopes	88.00	2.10	184.80	184.80
100% Value	8C	Judson silty clay loam, deep loess, 5 to 9 percent slopes	87.00	0.58	50.46	50.46
100% Value	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	8.86	753.10	753.10
100% Value	100D2	Monona silty clay loam, 9 to 14 percent slopes, eroded	60.00	0.78	46.80	46.80
100% Value	1C3	Ida silt loam, 5 to 9 percent slopes, severely eroded	58.00	1.38	80.04	80.04
100% Value	100E2	Monona silty clay loam, 14 to 20 percent slopes, eroded	46.00	1.11	51.06	51.06
100% Value	1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	32.00	15.10	483.20	483.20
Non-Crop	100C2	Monona silty clay loam, 5 to 9 percent slopes, eroded	85.00	0.28	23.80	13.06
Non-Crop	1D3	Ida silt loam, 9 to 14 percent slopes, severely eroded	32.00	0.37	11.84	11.58
Total				30.56	1,685.10	1,674.10

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: _____ Weekly Agenda Date: _____

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: _____

WORDING FOR AGENDA ITEM:

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☐

Public Hearing ☐

Other: Informational ☐

Attachments ☐

EXECUTIVE SUMMARY:

BACKGROUND:

FINANCIAL IMPACT:

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☐

RECOMMENDATION:

ACTION REQUIRED / PROPOSED MOTION:

**IOWA DEPARTMENT OF TRANSPORTATION
Preconstruction Agreement
For Primary Road Project**

County	<u>Woodbury</u>
Project No.	<u>NHSX-020-1(204)--3H-97</u>
Iowa DOT	
Agreement No.	<u>2026-4-030</u>
Staff Action No.	<u></u>

This Agreement, is entered into by and between the Iowa Department of Transportation, hereinafter designated "DOT", and Woodbury County, Iowa, a Local Public Agency, hereinafter designated "LPA", in accordance with Iowa Code Chapters 28E, 306, 306A and 313.4 as applicable;

The DOT proposes to establish or make improvements to U.S. 20 within Woodbury County, Iowa; and

The DOT and the LPA are willing to jointly participate in said project, in the manner hereafter provided; and

This Agreement reflects the current concept of this project which is subject to modification by mutual agreement between the LPA and the DOT; and

Therefore, it is agreed as follows:

1. Project Information

- a. The DOT shall design, let, and inspect construction of the following described project in accordance with the project plans and DOT Standard Specifications:

Portland cement concrete (PCC) pavement replacement on U.S. 20 from Franklin Avenue to Humboldt Avenue. See Exhibit A for project location.

- b. As part of the project, the LPA has requested paved side road fillets within Woodbury County. Paving of granular secondary road approaches beyond 10 feet from the edge of the primary road pavement shall be 100% LPA cost based on the estimated quantities as shown in Exhibit B.
- c. Upon completion of construction, the LPA agrees to retain ownership and jurisdiction of the following referenced improvements as identified below. The LPA shall also assume responsibility for all future maintenance operations associated therewith, all at no additional expense or obligation to the DOT:

- i. Paved side road fillets shall be constructed at the following locations (see Exhibit C):

(a) Grundy Avenue (north and south sides of U.S. 20)

2. Project Costs

- a. The LPA shall reimburse the DOT for its share of the project costs estimated at \$72,635.64, as shown in Exhibit B. The amount paid by the LPA upon completion of construction and billing by the DOT shall be determined by the actual quantities in place and the accepted bid at the contract letting.
- b. The DOT shall bear all costs except those allocated to the LPA under other terms of this Agreement.

3. Traffic Control

- a. U.S. 20 through-traffic shall be maintained during the construction.

- b. It may be necessary to temporarily close LPA side road(s) Garner Avenue, Moville Blacktop, Fair Street (north and south sides of U.S. 20), Grundy Avenue (north and south sides of U.S. 20), and Humboldt Avenue (north and south sides of U.S. 20) during construction. The DOT shall furnish and install the required barricades and signing for the closure at project cost, and shall remove same upon completion of the project, at no expense or obligation to the LPA. The DOT shall work in close cooperation with the LPA and the contractor to accommodate emergency services and local access across the project during construction. Any detours, which may be necessary for project related LPA road closures, shall be the responsibility of the LPA, at no expense or obligation to the DOT.
- c. Since this project may cause the temporary closure(s) of a road during construction, the DOT shall meet with the LPA to determine whether said closure(s) are likely to cause increased traffic on other LPA roads. The DOT and the LPA shall determine a plan, and the costs thereof, for the LPA to perform dust control on said LPA roads with increased traffic, should dust control become necessary. In that event, the LPA shall inform the DOT prior to performing said dust control. The DOT shall reimburse the LPA for the cost of said dust control measures following the receipt of a bill for the agreed upon costs (see Iowa Code section 313.4 subsection 1.b.).

4. Right of Way and Permits

- a. The DOT shall be responsible for the coordination of utility facility adjustments for the primary road project.

5. Construction and Maintenance

- a. Upon completion of the project, no changes in the physical features thereof shall be undertaken or permitted without the prior written approval and consent of the DOT.
- b. Future maintenance of the primary highway within the project area shall be carried out in accordance with the terms and conditions contained in Local Systems Instructional Memorandum 7.110.

6. General Provisions

- a. If the LPA has completed a Flood Insurance Study (FIS) for an area which is affected by the proposed Primary Highway project, and the FIS is modified, amended, or revised in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the modification, amendment, or revision to the DOT within 14 calendar days of the LPA's receipt of a subsequent FIS or modification. If the LPA does not have a detailed FIS for an area which is affected by the proposed Primary Highway project, and the LPA does adopt an FIS in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the FIS to the DOT within 14 calendar days. The LPA agrees to defend, indemnify, and hold harmless the DOT from any and all claims, costs, and damages arising from, or related to, the LPA's failure to timely provide an FIS, and/or FIS modification, to the DOT in accordance with this provision.
- b. The LPA shall comply with all provisions of the equal employment opportunity requirements prohibiting discrimination and requiring affirmative action to assure equal employment opportunity as required by Title VI of the Civil Rights Act of 1964 and Iowa Code Chapter 216. No person shall, on the grounds of age, race, creed, color, sex, sexual orientation, national origin, religion, pregnancy, or disability, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which State funds are used.
- c. It is the intent of both (all) parties that no third-party beneficiaries be created by this Agreement.
- d. If any section, provision, or part of this Agreement is found to be invalid or unconstitutional, such finding shall not affect the validity of the Agreement as a whole, or any section, provision, or part thereof not found to be invalid or unconstitutional, except to the extent that the original intent of the Agreement cannot be fulfilled.

June 2025

- e. This Agreement, as well as the unaffected provisions of any previous agreement(s), addendum(s), and/or amendment(s), represents the entire Agreement between the LPA and DOT regarding this project. All previously executed agreements shall remain in effect except as amended herein. Any subsequent change or modification to the terms of this Agreement shall be in the form of a duly executed amendment to this document.

IN WITNESS WHEREOF, each of the parties hereto has executed Agreement No. 2026-4-030 as of the date shown opposite its signature below.

BOARD OF SUPERVISORS OF WOODBURY COUNTY:

By: _____ Date _____, 20____.
Chairperson

ATTEST:

By: _____
County Auditor

IOWA DEPARTMENT OF TRANSPORTATION:

By: _____ Date _____, 20____.
Jessica L. Felix, P.E.
District Engineer
District 3

Exhibit A

BEGIN CONSTRUCTION

WB Lanes
Ref. Loc. 15.64
STA 988+55.00

BEGIN CONSTRUCTION

EB Lanes
Ref. Loc. 15.64
STA 988+25.00

UAC BRIDGE
West Fork Little Sioux River
STA 10+81.73
FHWA# 52931 (EXST)

END CONSTRUCTION

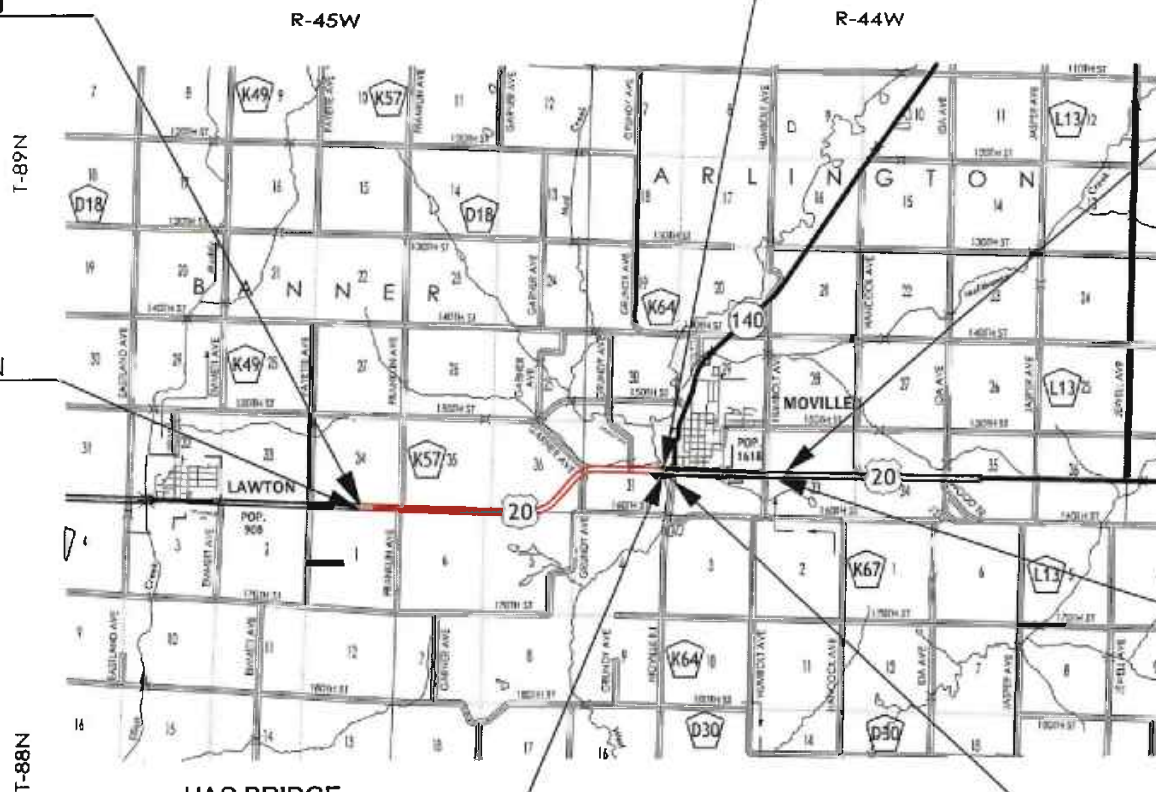
WB Lanes
Ref. Loc. 19.23
STA 80+25.00

END CONSTRUCTION

EB Lanes
Ref. Loc. 19.13
STA 75+00.00

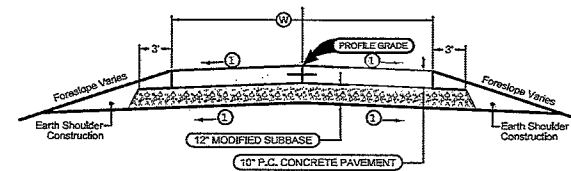
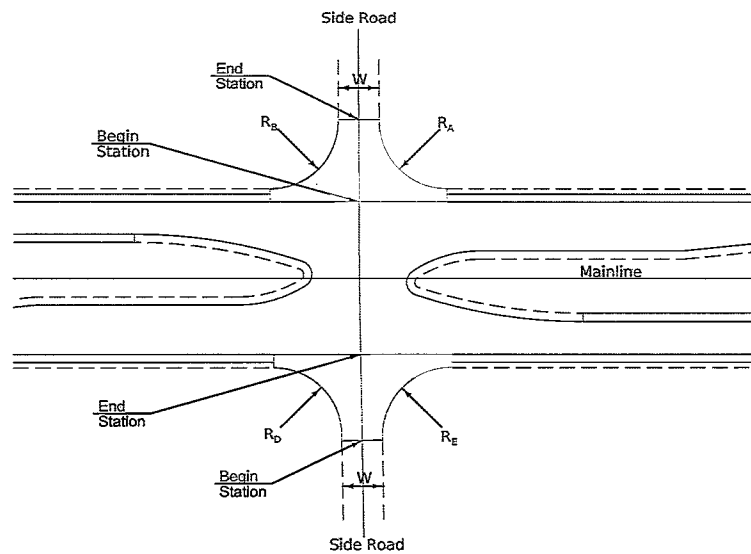
UAC RCB
STA 17+31.21 (ML20WB)
FHWA# 53190 (EXST)

UAC BRIDGE
West Fork Little Sioux River
STA 1115+34.76
FHWA# 52921 (EXST)



WOODBURY COUNTY				
ITEM DESCRIPTION	UNITS	QUANTITY	UNIT COST	COST
STANDARD OR SLIP-FORM PORTLAND CEMENT CONCRETE PAVEMENT, QM-C, CLASS 3 DURABILITY, 10 IN.	SY	823.1	\$ 59.23	\$ 48,750.95
MODIFIED SUBBASE	CY	314.1	\$ 37.50	\$ 11,778.75
CONTINGENCY			20.00%	\$ 12,105.94
TOTAL LPA COST				\$ 72,635.64

Exhibit C



① Subgrade parallels pavement slope.
See L sheets for details.

Mainline Jointing:
Transverse joints: CD at 17' spacing
Longitudinal joint: L-2

[illegible]

See Tab 100-24 for pavement quantities.

PAVED RETURNS at GRANULAR SIDEROADS

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/2/2025 Weekly Agenda Date: 12/9/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Laura Sievers, PE, County Engineer

WORDING FOR AGENDA ITEM:

Consider approval of a Preconstruction Agreement for the Southbridge Interchange Project

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

Woodbury County agrees to the preconstruction agreement with the Iowa DOT for IMN-029-6(170)139-0E-97 IMN-029-6(314)139-0E-97 IMN-029-6(315)139-0E-97 IMN-029-6(318)139-0E-97 RP-029-6(329)139-16-97

BACKGROUND:

Iowa Code Sections 306, 306A, 313.4, and 315 provide for Woodbury County and the Iowa DOT to enter into agreements with each other for the purpose of financing transportation improvement projects on streets and highways in Iowa.

FINANCIAL IMPACT:

The Iowa DOT will design, fund, let, and inspect construction of the project and the County will reimburse as per 2.Project Costs (a)-(e)

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☒ No ☐

RECOMMENDATION:

Recommend that the board approve the preconstruction agreement with the Iowa DOT for the Southbridge Interchange projects which include the following projects: IMN-029-6(170)139-0E-97 IMN-029-6(314)139-0E-97 IMN-029-6(315)139-0E-97 IMN-029-6(318)139-0E-97 RP-029-6(329)139-16-97

ACTION REQUIRED / PROPOSED MOTION:

Motion to approve the preconstruction agreement with the Iowa DOT for the Southbridge Interchange projects which include the following projects: IMN-029-6(170)139-0E-97 IMN-029-6(314)139-0E-97 IMN-029-6(315)139-0E-97 IMN-029-6(318)139-0E-97 RP-029-6(329)139-16-97

IOWA DEPARTMENT OF TRANSPORTATION
Preconstruction Agreement
For Primary Road Project

County	Woodbury
Project Nos.	IMN-029-6(170)139--0E-97 PCC Pavement - Grade & New IMN-029-6(314)139--0E-97 Bridge New - PPCB IMN-029-6(315)139--0E-97 Traffic Signs IMN-029-6(318)139--0E-97 Right of Way RP-029-6(329)139--16-97 RISE Grant
Iowa DOT	
Agreement No.	2026-C-040
Staff Action No.	

This Agreement, is entered into by and between the Iowa Department of Transportation, hereinafter designated "DOT", and Woodbury County, Iowa, a Local Public Agency, hereinafter designated "LPA", in accordance with Iowa Code Chapters 28E, 306, 306A and 313.4 as applicable;

The DOT proposes to establish or make improvements to Interstate 29 (I-29) within Woodbury County, Iowa; and

The DOT and the LPA are willing to jointly participate in said project, in the manner hereafter provided; and

The DOT and the LPA previously entered into the following agreement for the above referenced project: Agreement No. 2023-P-052 for Predesign and Right of Way Acquisition was executed by the LPA and DOT on March 14, 2023 and March 20, 2023 respectively; and

The LPA submitted an application to the DOT for funding through the Revitalize Iowa's Sound Economy (RISE) fund under Iowa Code Chapter 315, and the application was approved by Transportation Commission Order No. TD-2026-28 on September 9, 2025. As part of the Transportation Commission action, a RISE grant of \$4,796,168, or up to 21% of the total RISE-eligible project cost, whichever is less, will be applied to the LPA's share of construction costs of a new interchange on I-29 located south of Sioux City as part of project number RP-029-6(329)139--16-97 to be administered by the DOT's District 3 Office. This project is necessary to provide improved access to more than 2,000 acres for industrial purposes.

This Agreement reflects the current concept of this project which is subject to modification by mutual agreement between the LPA and the DOT; and

Therefore, it is agreed as follows:

1. Project Information

- a. The DOT shall design, acquire right of way, let, and inspect construction of the following described project in accordance with the project plans and DOT Standard Specifications:

Construction of a new Portland cement concrete (PCC) interchange on I-29 located 2.5 miles south of the city of Sergeant Bluff near Mile Marker 138. The project will include paved connections to Old U.S. 75 / County Road K45 on the east side of I-29 and to Port Neal Road on the west side of I-29. A new pretensioned prestressed concrete beam (PPCB) bridge will be

constructed over the traffic lanes of I-29 as part of the project. A reinforced concrete box (RCB) culvert will also be constructed on 235th Street at Station 5033+15.96. See Exhibit A for project location and Exhibit E for details of the new bridge and RCB culvert.

- b. As part of the project, the LPA has requested right of way acquisitions needed for the new interchange, construction of the new interchange including the new bridge over I-29, construction of new segments of 235th Street located on the west and east sides of I-29, reconstruction of existing 235th Street on the east side of I-29, reconstruction of existing Old U.S. 75/County Road K45, reconstruction of Banner Avenue, and reconstruction Barker Avenue within Woodbury County all which shall be at no cost to the DOT. Note: One additional beam line has been added to the bridge at the DOT's request and shall bear no cost to the LPA for this additional beam line. See Exhibit C for estimated costs.
- c. Upon completion of construction, the LPA agrees to retain ownership and jurisdiction of the following referenced improvements as identified below. The LPA shall also assume responsibility for all future maintenance operations associated therewith, all at no additional expense or obligation to the DOT:
 - i. 235th Street shall be reconstructed from Station 5000+62 to Station 5012+54.99, and from Station 5014+93.20 to Station 5058+91.57. A variable-width, paved roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.
 - ii. Old U.S. 75/County Road K45 shall be reconstructed from Station 335+25 to Station 347+40. A variable-width, paved roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.
 - iii. Banner Avenue intersection shall be reconstructed from Station 8000+12 to Station 8000+74.03. A 26-foot wide paved roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.
 - iv. Banner Avenue shall be reconstructed from Station 8000+74.03 to Station 8006+62. A 26-foot wide granular surfaced roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.
 - v. Barker Avenue shall be reconstructed from Station 9001+85 to Station 9002+41.69. A 32-foot wide granular surfaced roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.
 - vi. Barker Avenue intersection will be reconstructed from Station 9002+41.69 to Station 9003+01.84. A 32-foot wide paved roadway shall be constructed. See Exhibit B for details of the typical roadway cross-section.

2. Project Costs

- a. The LPA shall reimburse the DOT for its share of right of way costs estimated at \$758,112, and its share of construction costs estimated at \$18,151,883.61, as shown in Exhibit C. The DOT shall bill the LPA for its share of project costs at approximately the beginning of each state fiscal year beginning with Fiscal Year 2027 (July 1, 2026). The state fiscal year starts on July 1 of each year and continues through June 30 of the following year. The DOT will bill the LPA based upon the LPA's share of project costs incurred at the time of the beginning of each state fiscal year. The right of way costs incurred to date will be included with the construction costs incurred to date at the time of the first billing on July 1, 2026. The final billing to the LPA will occur upon completion of construction and when the final right of way costs have been determined. The amount paid by the LPA upon completion of construction and billing by the DOT shall be determined by the actual quantities in place and the accepted bid at the contract letting.
- b. The LPA has been awarded a Surface Transportation Block Grant (STBG) by their Metropolitan

Planning Organization (MPO) in the amount of \$2,030,000. The STBG funding will be transferred to the DOT to be credited against the LPA's share of construction costs. The STBG funding will be the first grant funding credited against the LPA's share of construction costs and will begin to be utilized at the time of the LPA's first anticipated construction billing on July 1, 2026.

- c. The LPA has been awarded a RISE grant in the amount of \$4,796,168. This funding will be transferred to the DOT to be applied against the LPA's share of construction costs. The RISE funding will be applied at a ratio of 21%, or until the funding has been depleted, whichever is less. The LPA will be billed by the DOT for their 79% match cost of the RISE grant. The RISE grant will be the second grant funding applied against the LPA's share of construction costs. The RISE funding will begin to be utilized after the STBG funding has been fully depleted.
- d. The LPA shall be billed by the DOT on a state fiscal year basis for their share of the project costs not covered by the STBG and RISE grant funding.
- e. The DOT shall bear all costs except those allocated to the LPA under other terms of this Agreement.

3. Traffic Control

- a. I-29 through-traffic shall be maintained during the construction.
- b. It shall be necessary to temporarily close LPA side roads 235th Street, Old U.S. 75/County Road K45, Banner Avenue, and Barker Avenue during construction. Local access to Barker Avenue will be provided at all times. The DOT shall furnish and install the required barricades and signing for the closures at project cost, and shall remove same upon completion of the project, at no expense or obligation to the LPA. The DOT shall work in close cooperation with the LPA and the contractor to accommodate emergency services and local access across the project during construction. Any detours, which may be necessary for project related LPA road closures, shall be the responsibility of the LPA, at no expense or obligation to the DOT.

4. Right of Way and Permits

- a. The DOT shall be responsible for the coordination of utility facility adjustments for the primary road project.
- b. In connection with this project, any real estate and rights to real estate necessary for right of way at the connection of any public road and the primary highway project, any access road or frontage road, or any permanent utility easements, which are or which shall be under the jurisdiction of the LPA, may be acquired by the DOT, for and in the name of the LPA. Where acquired by contract, the LPA shall receive title from the contract seller and the LPA shall accept title thereto. Where acquired by condemnation, a single joint condemnation proceeding shall be instituted by the DOT to acquire real estate or rights in real estate, needed by the LPA for the LPA, and to acquire real estate or rights in real estate, needed by the DOT for the DOT.
- c. Access rights shall be acquired by the DOT along 235th Street within the project limits. See Exhibit D for details of the access rights. Access rights shall be in the name of the State of Iowa. The acquisition of access rights shall be in accordance with 761 Iowa Administrative Code Chapter 112. If the LPA feels it is in the best interest of the parties involved to modify the access rights in any way, they may petition the appropriate DOT District Engineer to do so, with the final decision remaining with the DOT.

5. Construction and Maintenance

- a. Upon completion of the project, no changes in the physical features thereof shall be undertaken or permitted within the access control limits (see Exhibit D) without the prior written approval and consent of the DOT.

- b. The LPA shall notify the DOT's contact person (Jennifer Kolacia, RISE Program Manager) within 30 days of the date the RISE project was constructed and open to traffic. The LPA shall certify to the DOT's contact person within three years of the date the RISE project is constructed and open to traffic any associated economic development which has resulted from the project, including infrastructure improvements, capital investment, and/or job creation. This certification by the LPA is subject to review by the DOT.
- c. Future maintenance of the primary highway within the project area shall be carried out in accordance with the terms and conditions contained in Local Systems Instructional Memorandum 7.110.
- d. The DOT shall own and maintain the Intelligent Transportation System (ITS) camera pole and devices, and interchange lighting poles and lighting control cabinet, constructed as part of the project. Additionally, the DOT shall be responsible for future energy costs to operate the ITS camera, devices, and interchange lighting.
- e. New traffic signal construction for this project shall be provided under guidelines established in 761 Iowa Administrative Code Chapter 150. The DOT shall construct traffic signal installations at no cost to the LPA. If constructed, the LPA shall accept ownership of, and responsibility for future energy and maintenance costs of those traffic signal units.
- f. Structures built by the DOT over or under a primary road shall be maintained by the DOT, including repairs to floors, railings, and painting. For structures serving roadways which are not on the primary road system, the cleaning and removal of snow, debris, and foreign objects from local road traffic lanes, sidewalks, or walkways within the project limits (if any), including pedestrian overpasses or underpasses, shall be the responsibility of the LPA. See Exhibit E for details of the new bridge being constructed over I-29.

6. General Provisions

- a. If the LPA has completed a Flood Insurance Study (FIS) for an area which is affected by the proposed Primary Highway project, and the FIS is modified, amended, or revised in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the modification, amendment, or revision to the DOT within 14 calendar days of the LPA's receipt of a subsequent FIS or modification. If the LPA does not have a detailed FIS for an area which is affected by the proposed Primary Highway project, and the LPA does adopt an FIS in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the FIS to the DOT within 14 calendar days. The LPA agrees to defend, indemnify, and hold harmless the DOT from any and all claims, costs, and damages arising from, or related to, the LPA's failure to timely provide an FIS, and/or FIS modification, to the DOT in accordance with this provision.
- b. The LPA shall comply with all provisions of the equal employment opportunity requirements prohibiting discrimination and requiring affirmative action to assure equal employment opportunity as required by Title VI of the Civil Rights Act of 1964 and Iowa Code Chapter 216. No person shall, on the grounds of age, race, creed, color, sex, sexual orientation, national origin, religion, pregnancy, or disability, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which State funds are used.
- c. It is the intent of both (all) parties that no third-party beneficiaries be created by this Agreement.
- d. If any section, provision, or part of this Agreement is found to be invalid or unconstitutional, such finding shall not affect the validity of the Agreement as a whole, or any section, provision, or part thereof not found to be invalid or unconstitutional, except to the extent that the original intent of the Agreement cannot be fulfilled.
- e. This Agreement, as well as the unaffected provisions of any previous agreement(s), addendum(s),

June 2025

and/or amendment(s), represents the entire Agreement between the LPA and DOT regarding this project. All previously executed agreements shall remain in effect except as amended herein. Any subsequent change or modification to the terms of this Agreement shall be in the form of a duly executed amendment to this document.

IN WITNESS WHEREOF, each of the parties hereto has executed Agreement No. 2026-C-040 as of the date shown opposite its signature below.

BOARD OF SUPERVISORS OF WOODBURY COUNTY:

By: _____ Date _____, 20____.
Chairperson

ATTEST:

By: _____
County Auditor

IOWA DEPARTMENT OF TRANSPORTATION:

By: _____ Date _____, 20____.
Jessica L. Felix, P.E.
District Engineer
District 3

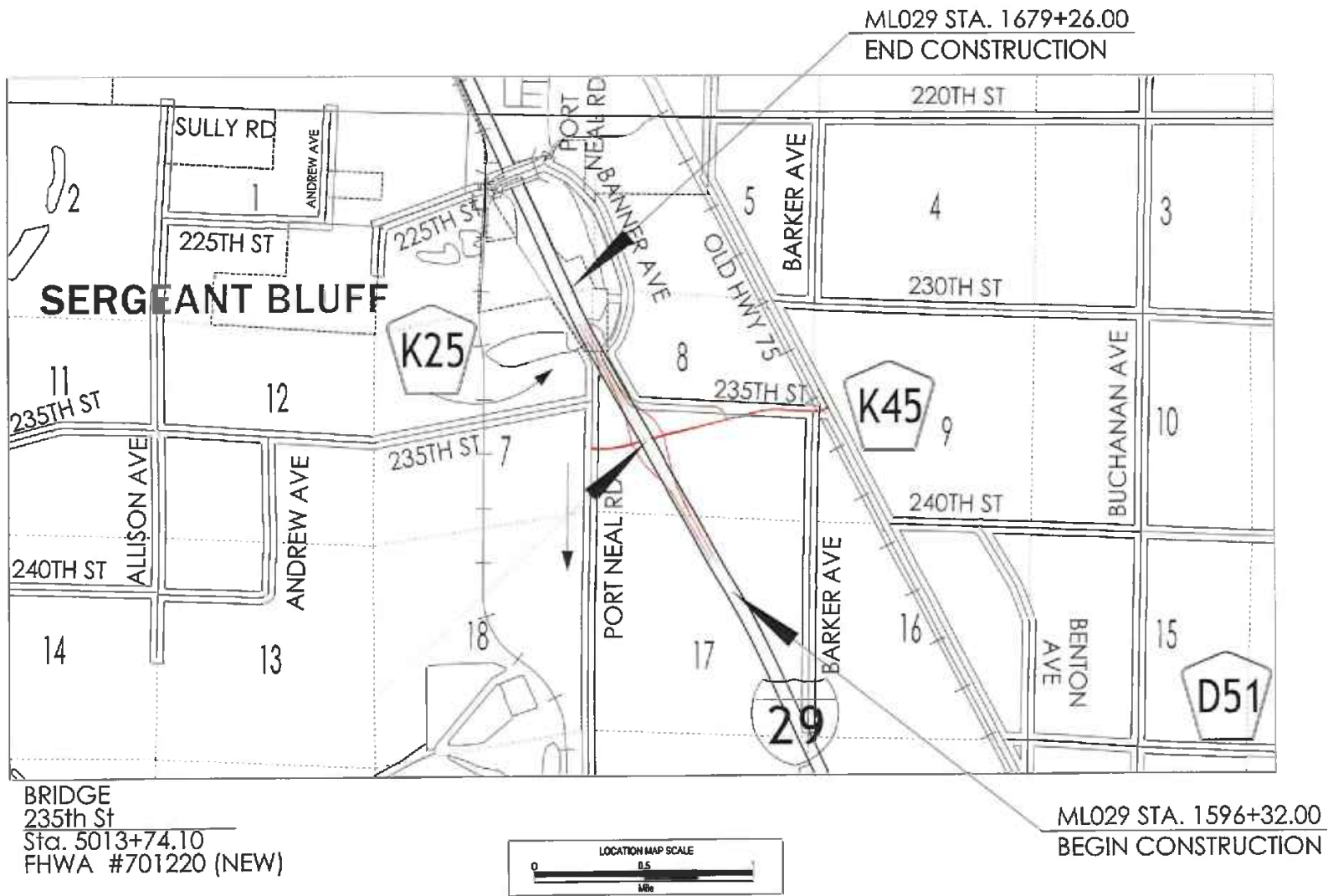


Exhibit B

LOCATION		DIMENSIONS			
ROAD IDENTIFICATION	STATION TO STATION	L Foot	R Foot	X Inches	D Foot
235th Street	5000+62.00 - 5001+77.00	41	37	15.5	4
235th Street	5001+77.00 - 5002+72.41	41-37	37	15.5	4
235th Street	5002+72.41 - 5006+28.05	37	37	15.5	4-10
235th Street	5006+28.05 - 5008+08.11	37	37-49	15.5	10
235th Street	5008+08.11 - 5010+10.83	37	49	15.5	10
235th Street	5010+10.83 - 5012+54.99	37-42	42	21.5	0
235th Street	5014+83.20 - 5016+23.83	42	42	21.5	0
235th Street	5016+23.83 - 5020+18.40	48	37	15.5	10
235th Street	5020+18.40 - 5021+98.40	48-37	37-29	15.5	10-4
235th Street	5021+98.40 - 5027+38.40	37-29	29	15.5	4
235th Street	5027+38.40 - 5056+28.15	28	29	15.5	4
235th Street	5056+28.15 - 5057+28.55	28-38	29-39	15.5	4
235th Street	5057+28.55 - 5058+38.00	38	40	18.6	4-0
235th Street	5058+38.00 - 5058+41.59	28	40	18.6	0

Normal section shown may be modified appropriately in areas of super-elevated curves or other locations specifically designated by the Engineer.

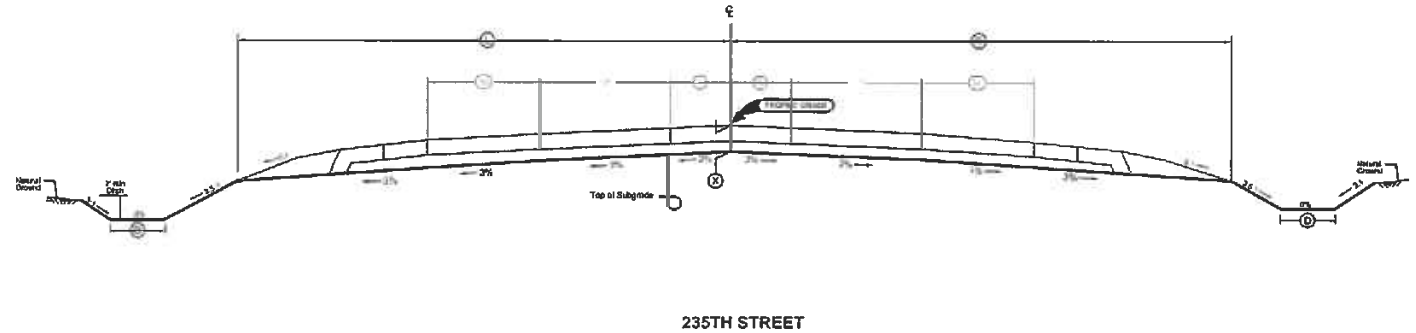
See plan & profile sheets and cross sections for additional details of ditches and backstopes.

LOCATION		DIMENSIONS			
ROAD IDENTIFICATION	STATION TO STATION	L Foot	R Foot	X Inches	D Foot
Old US 75	335+25.00 - 339+27.87	18	18	15	
Old US 75	339+27.87 - 343+50.00	30	18	15	
Old US 75	343+50.00 - 344+97.87	30	0	15	
Old US 75	344+97.87 - 346+17.87	30-18	0	15	

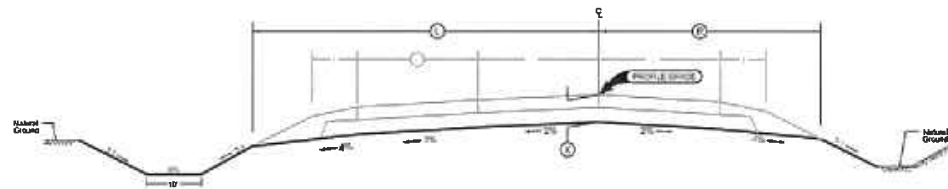
LOCATION		DIMENSIONS			
ROAD IDENTIFICATION	STATION TO STATION	L Foot	R Foot	X Inches	D Foot
Banner Avenue	8000+75.00 - 8006+62.00	18	18	6	
Barker Avenue	9001+85.00 - 9002+41.80	18	18	6	

Normal section shown may be modified appropriately in areas of super-elevated curves or other locations specifically designated by the Engineer.

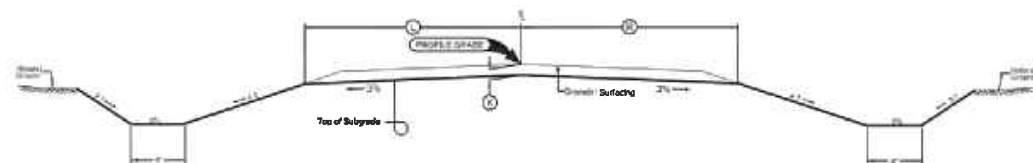
See plan & profile sheets and cross sections for additional details of ditches and backstopes.



235TH STREET



OLD US 75



BANNER AVENUE
BARKER AVENUE

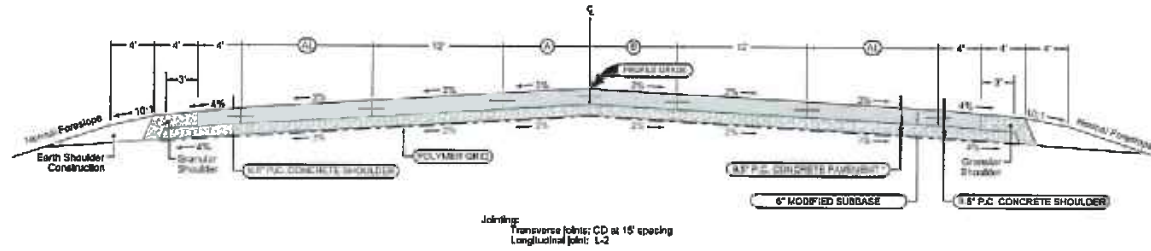
SIDEROAD GRADING

Exhibit B

PCC Auxiliary Lane And Shoulder

Shoulder Jointing:
Longitudinal joint: L-2
Transverse joints: CD, Match Ramp

ROAD IDENTIFICATION	BEGIN STATION	END STATION	AL Feet
235th Street	5000+12.00	5001+77.00	12
235th Street	5001+77.00	5002+72.41	12-0
235th Street	5002+72.41	5009+60.00	0
235th Street	5018+75.00	5020+18.40	12
235th Street	5020+18.40	5021+98.40	12-0
235th Street	5021+98.40	5058+91.57	0



Jointing:
Transverse joints: CD at 15' spacing
Longitudinal joint: L-2

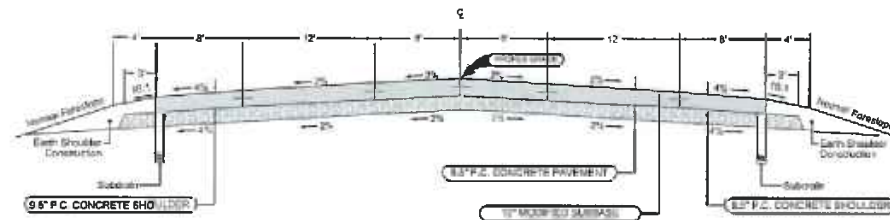
STATION TO STATION		(A) Feet	(B) Feet
5000+12.00	5001+77.00	12	0
5001+77.00	5002+72.41	12-6	0
5002+72.41	5009+60.00	0	0
5018+75.00	5022+68.40	0	0
5022+68.40	5027+38.40	0-0	0-0
5027+38.40	5058+91.57	0	0
5057+26.50	5058+91.57	0-4	0

Note: The area east of the UPRR (Sta. 5058+35.00 to 5058+41.58), use 8" P.C. CONCRETE PAVEMENT to match the Old US 75 pavement section.

PCC Auxiliary Lane And Shoulder

PCC Shoulder Jointing:
Longitudinal joint: L-2
Transverse joints: CD, Match Ramp

ROAD IDENTIFICATION	BEGIN STATION	END STATION	AL Feet
235th Street	5000+12.00	5009+28.05	0
235th Street	5009+28.05	5009+08.11	0-12
235th Street	5009+08.11	5009+60.00	0
235th Street	5018+75.00	5058+00.00	0
235th Street	5058+00.00	5057+20.00	0-12
235th Street	5057+20.00	5058+91.57	12



Jointing:
Transverse joints: CD at 17' spacing
Longitudinal joint: L-2

STATION TO STATION	
5009+60.00	5012+54.89
5014+83.20	5018+75.00

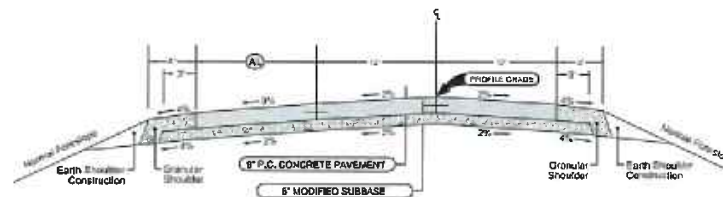
SIDEROAD PAVING 235TH STREET

Exhibit B

Auxiliary Lane

Joining:
Transverse joints: CD, Match Mainline
Longitudinal joints: L-2 or KT-2

STATION TO STATION		AL	Feet
339+80.00	343+50.00	12	



Section shown in the direction of stationing

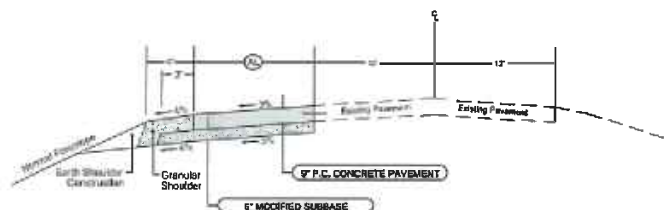
Joining:
Transverse joints: CD all 15' spacing
Longitudinal joints: L-2

ROAD IDENTIFICATION	BEGIN STATION	END STATION
OLD US 75	335+25.00	343+50.00

Auxiliary Lane

Joining:
Transverse joints: CD, Match Mainline
Longitudinal joints: KT-2

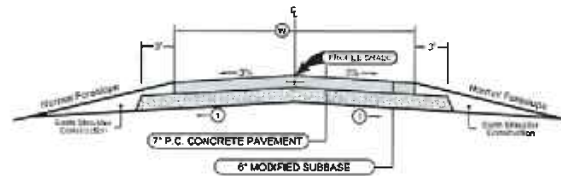
STATION TO STATION		AL	Feet
343+50.00	345+80.00	12	
345+80.00	347+40.00	12+0	



Section shown in the direction of stationing

SIDEROAD PAVING
OLD US 75

Exhibit B



Joining:
Transverse joints: CD at 15' spacing
Longitudinal joint: L-2

LOCATION		DIMENSIONS
ROAD IDENTIFICATION	STATION TO STATION	Feet
Banner Avenue	8000+12.00 8000+74.03	25
Barker Avenue	8002+11.88 8003+01.84	32



LOCATION		DIMENSIONS
ROAD IDENTIFICATION	STATION TO STATION	Feet
Banner Avenue	8000+74.03 8006+62.00	25
Barker Avenue	8001+85.00 8002+41.88	32
ENTR5026	0+23.51 1+45.00	40
ENTL5046	0+23.00 0+65.00	40
ENTR5048	0+20.00 0+75.00	40
ENTL5068	0+20.00 0+70.00	40
ENTR5087	0+32.00 0+78.00	12
ENTL5087	0+78.00 1+05.00	12-31
ENTL5006	0+13.00 0+78.00	40
ENTL5016	0+12.50 0+35.00	40

SIDEROAD PAVING
BANNER AVENUE
BARKER AVENUE
FIELD ENTRANCES

Exhibit B

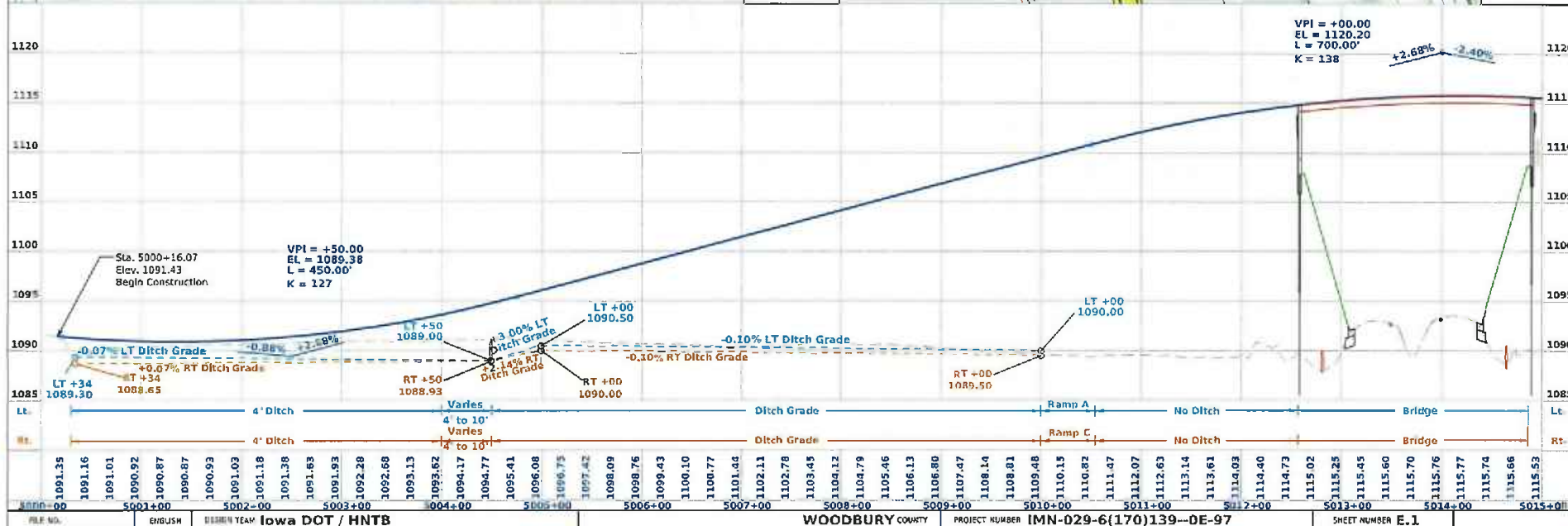
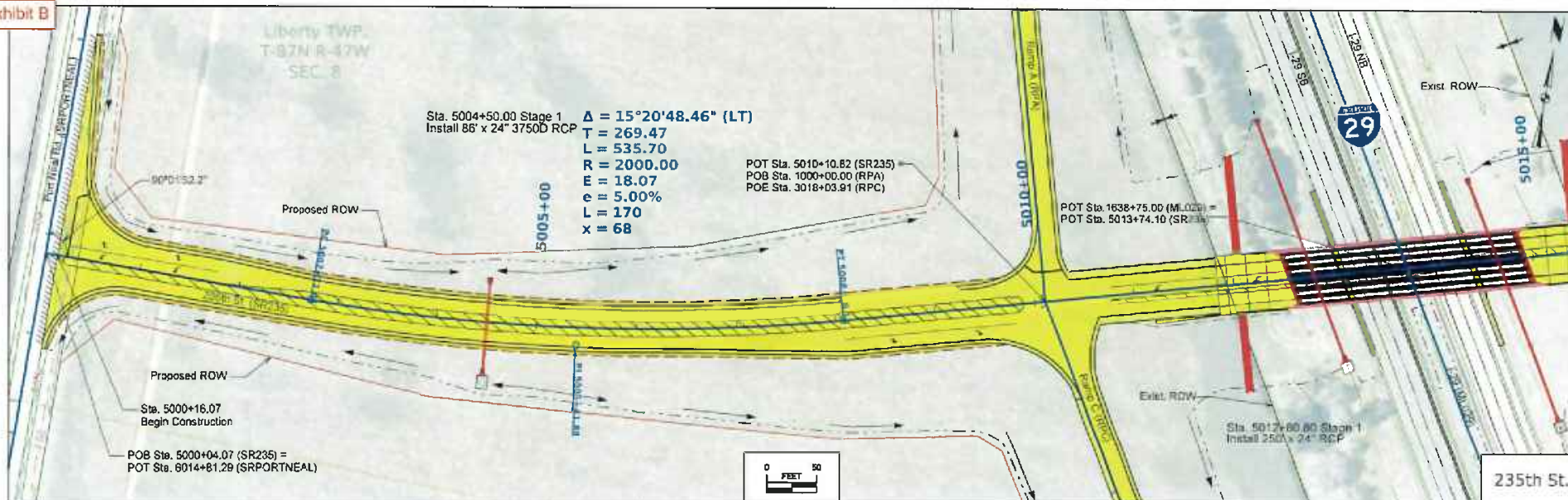


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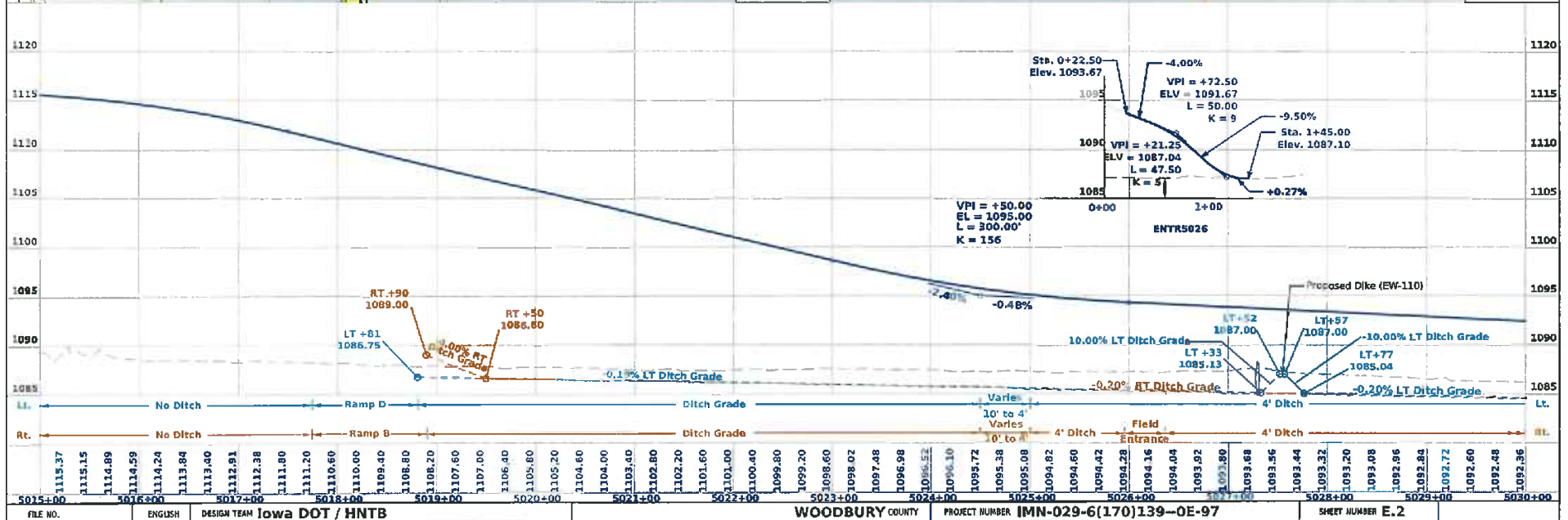
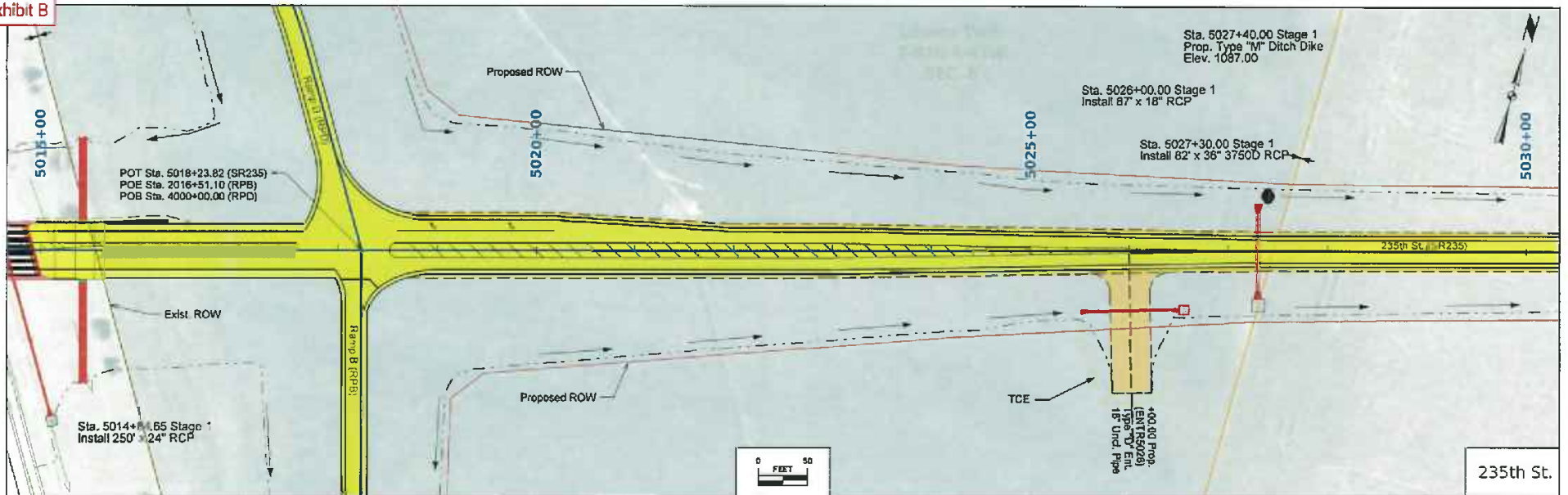


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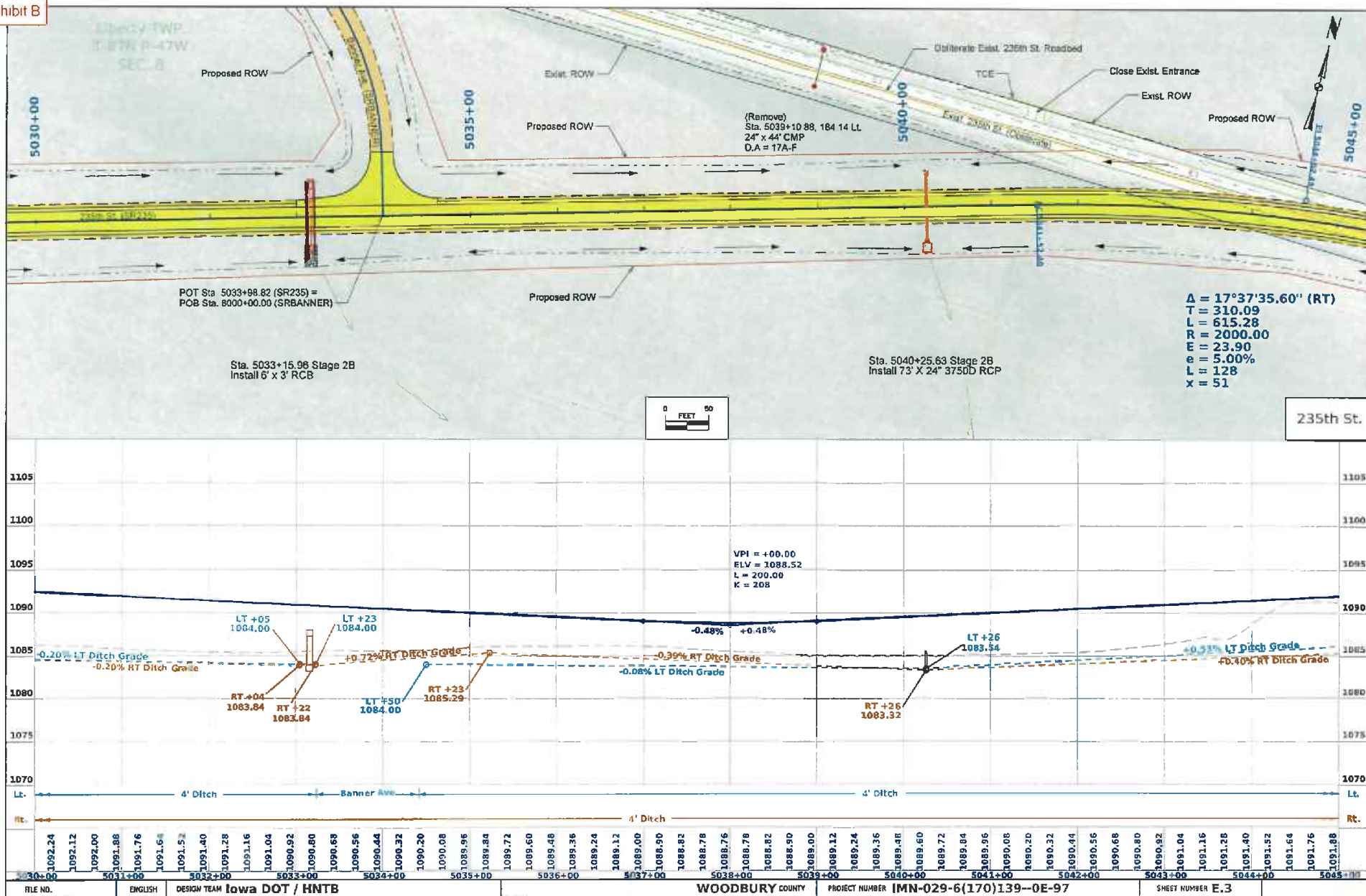


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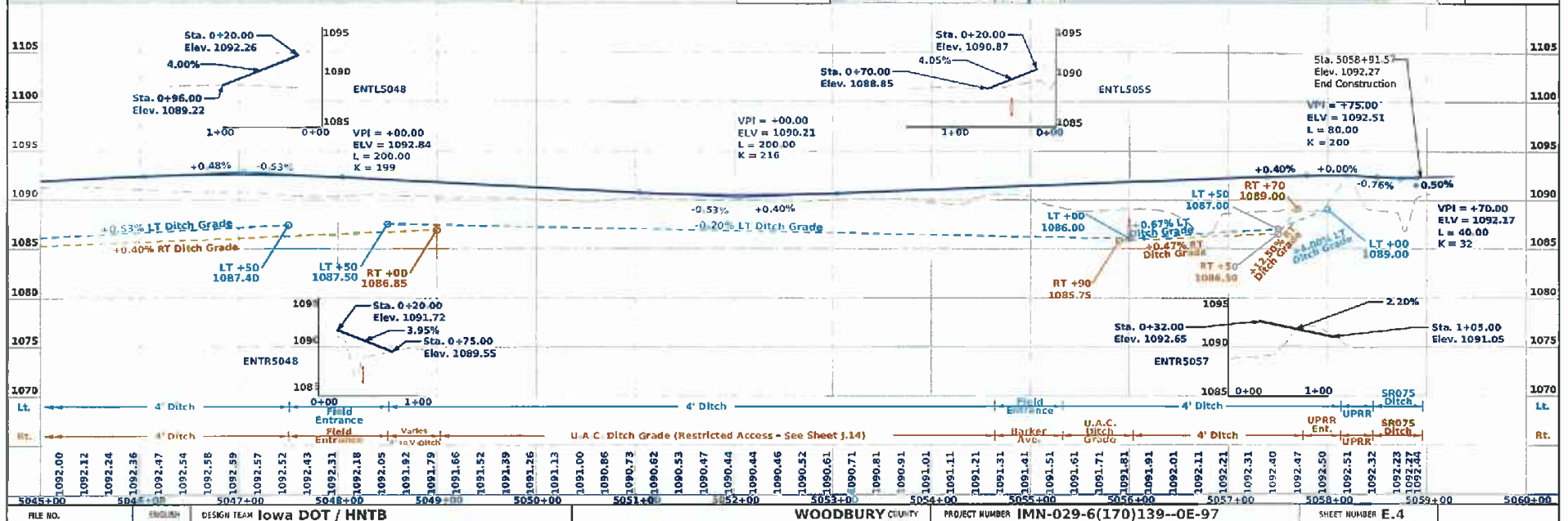
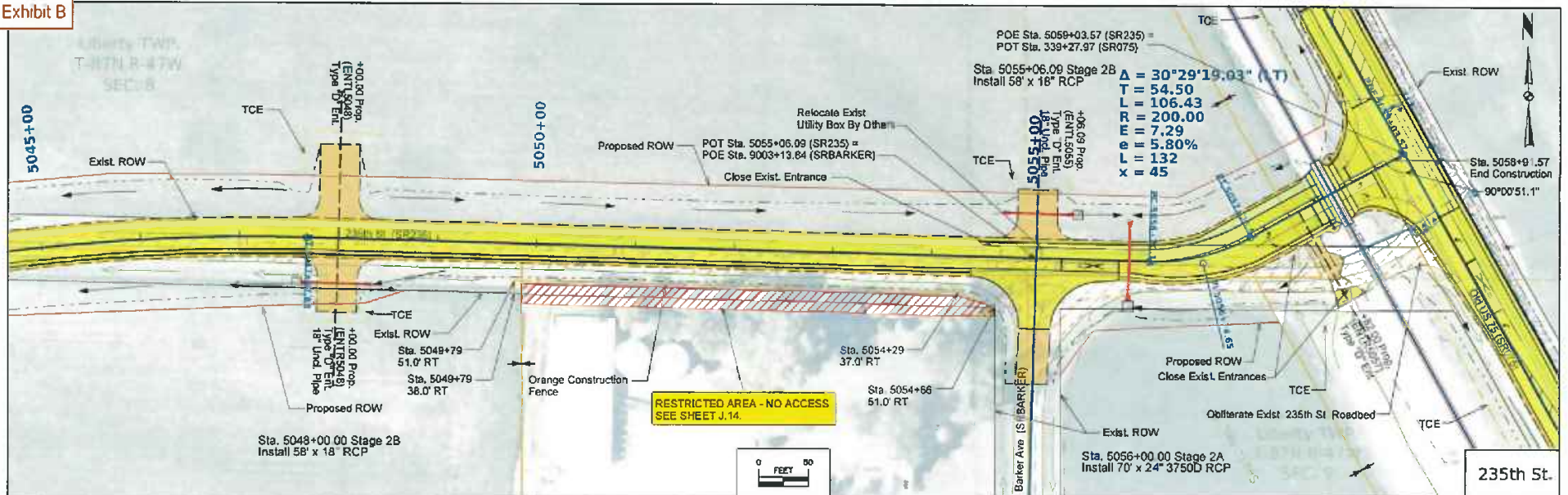


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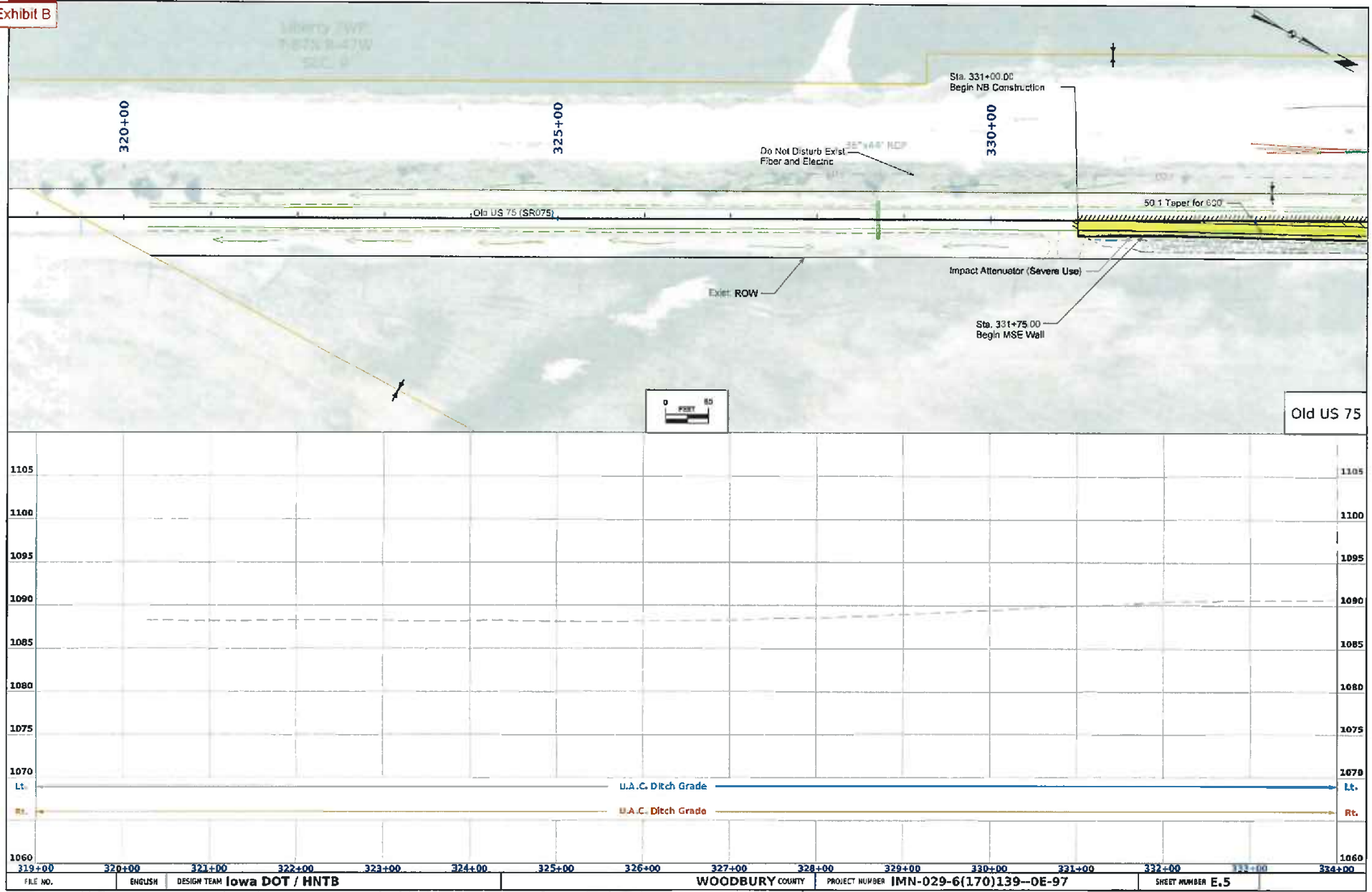


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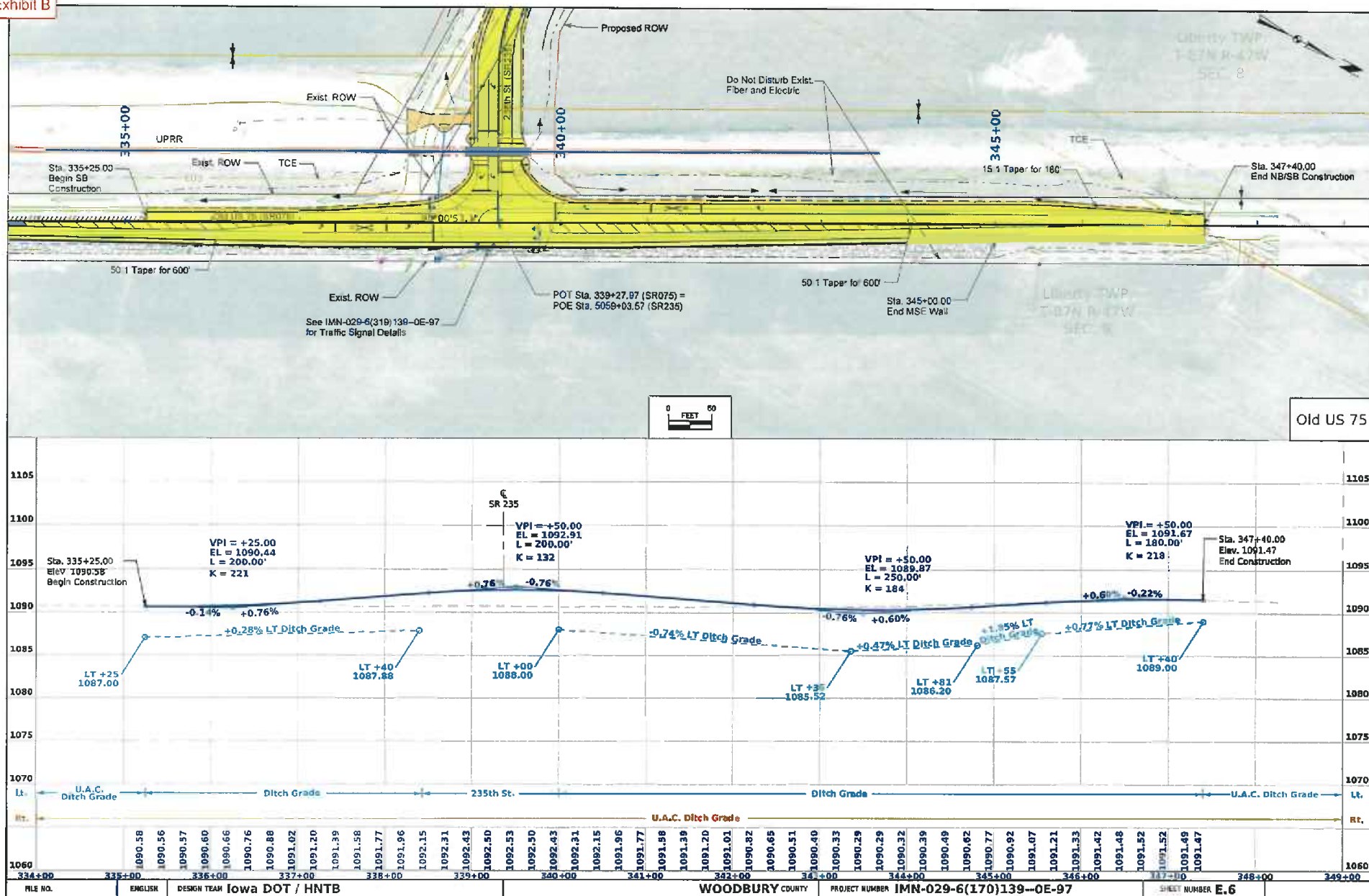
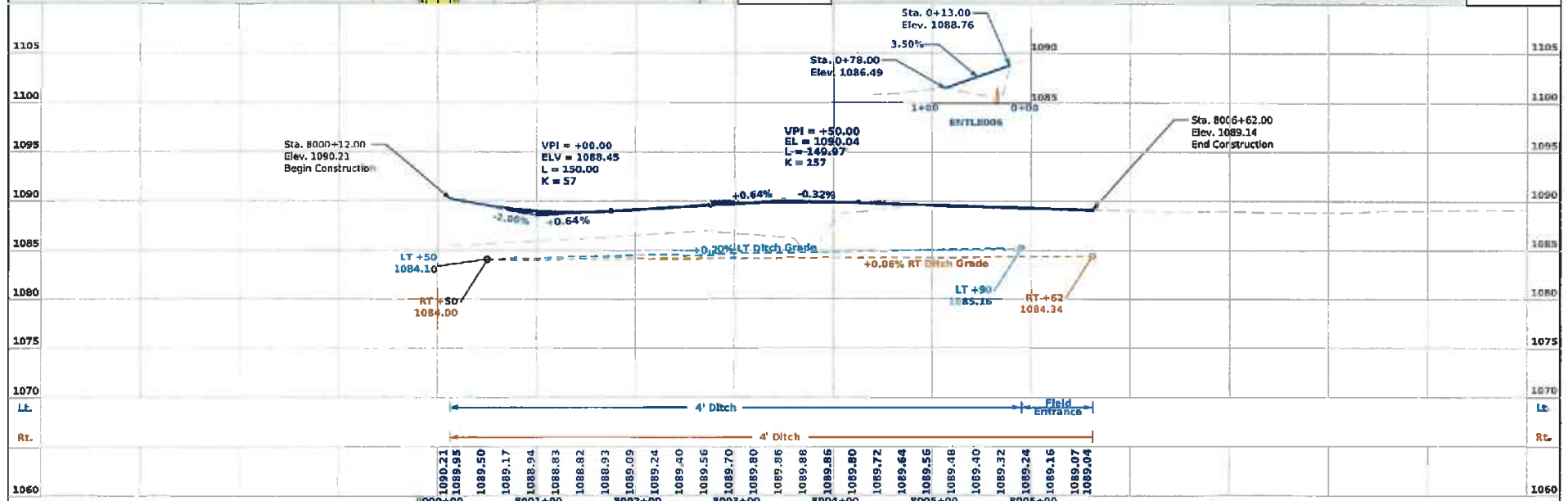
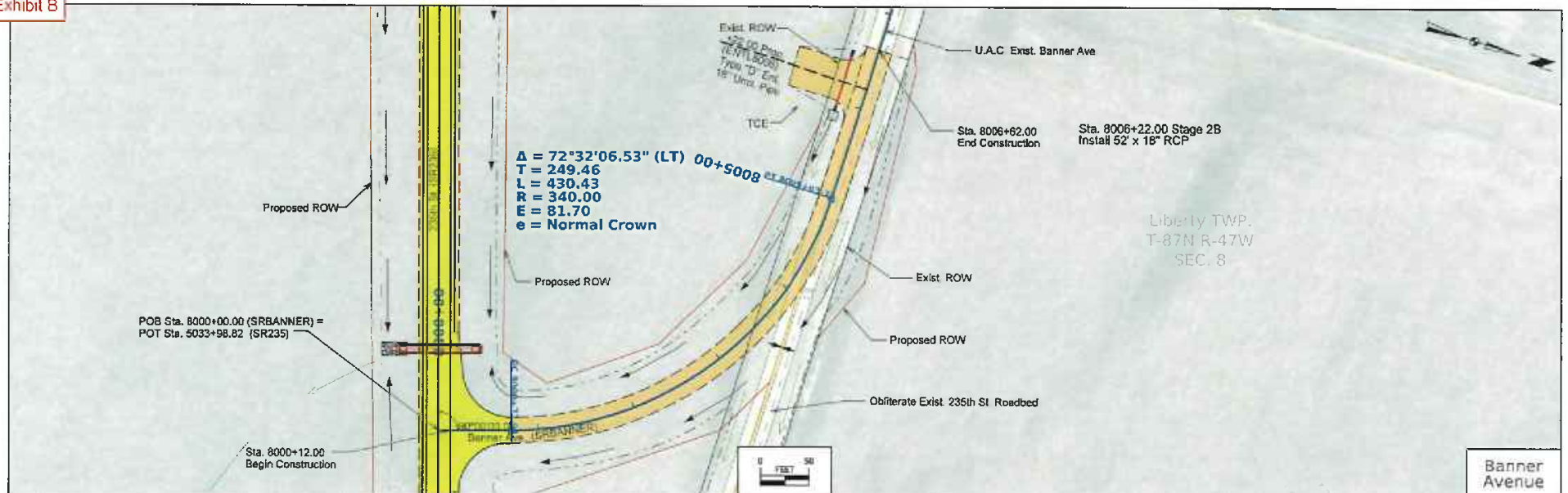


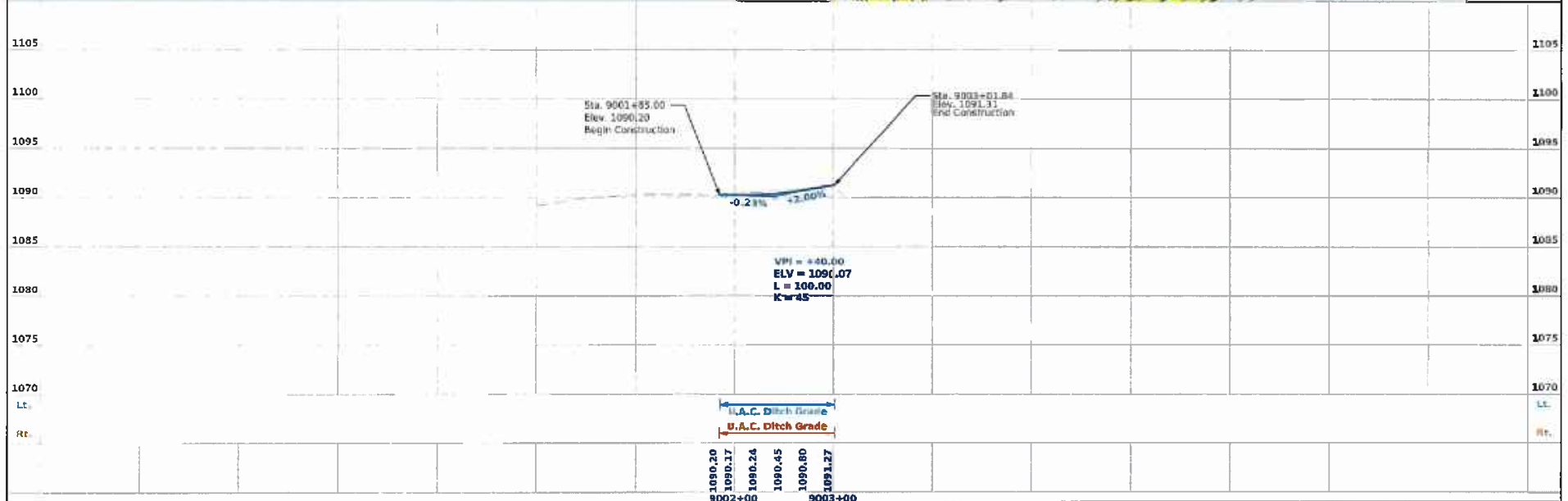
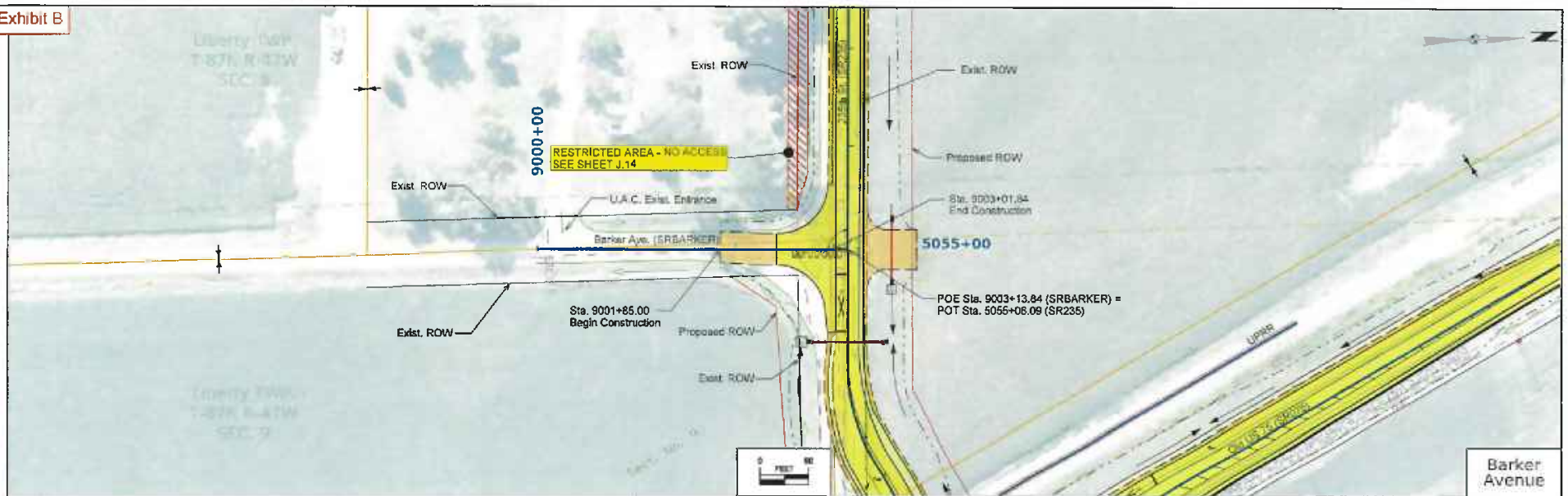
Exhibit B



FILE NO.	DESIGN TEAM	WOODBURY COUNTY	PROJECT NUMBER	SHEET NUMBER
10-38.56 AM	11/3/2025	nschuler	IMN-029-6(170)139-0E-97	E.7

2028-C-040_WoodburyCo

Exhibit B



FILE NO.	ENGLISH	DESIGN TEAM	Iowa DOT / HNTB	WOODBURY COUNTY	PROJECT NUMBER	IMN-029-6(170)139--0E-97	SHEET NUMBER	E.9
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Exhibit C

ESTIMATED ROADWAY QUANTITIES
IMN-029-6(170)139--0E-97

I-39 Southbridge Interchange
 11/7/2025
 Includes (170) Grade and Pave, (914) Bridge, (1315) Signage, (1315) Lighting (By Drivers), and (319) Signal

Item					Stage 1A		Stage 1B		Stage 2A		Stage 2B	
Item Code	Item	Unit	Total	Unit Cost Used	FY26 (Jan. - Jun. 2026)	Cost	FY27 (Jul. - Dec. 2026)	Cost	FY27 (Jan. 2027 - Jun.)	Cost	FY28 (Jul. 2027 - Dec.)	Cost
WOODBURY COUNTY - Division 1 - Roadway												
2102-0850001	CLEARING AND GRUBBING	ACRE	49.6	\$2,791.99	31.3	\$87,389.29			2.4	\$6,708.78	15.3	\$42,577.65
2102-0425076	SPECIAL BACKFILL	TON	135.5	\$34.98	135.5	\$4,774.29						
2102-2625001	EMBANKMENT-IN-PLACE, CONTRACTOR FURNISHED	CY	292367.0	\$7.65	297831.5	\$2,278,418.88					4535.5	\$34,696.59
2102-2718076	EXCAVATION, CLASS 10, ROADWAY AND BORROW	CY	38819.6	\$4.97	8515.0	\$42,319.55			6885	\$39,242.45	24219.6	\$128,168.43
2102-2718096	EXCAVATION, CLASS 10, WASTE	CY	9096.6	\$4.73							0	\$79,488.88
2102-2713096	EXCAVATION, CLASS 13, WASTE	CY	21.0	\$32.22							22.0	\$788.84
2102-4560090	LOCATING TILE LINES	STA	165.00	\$165.75	81.00	\$8,565.75					24.00	\$2,538.00
2102-5010019	OBSTITUTE OLD ROADBED	STA	12.00	\$523.09							12.00	\$6,277.08
2105-8425015	TOPSOIL, STRIP, SALVAGE AND SPREAD	CY	58275.0	\$4.59					25812.0	\$118,477.00	24863.0	\$114,121.17
2107-0075100	COMPACTION WITH MOISTURE CONTROL	CY	332287.8	\$6.44	398134.0	\$131,178.96			2060.0	\$880.00	32073.0	\$16,332.12
2112-0806106	WICK DRAIN	LF	156292.0	\$1.80	156292.0	\$156,292.00						
2112-0806100	HORIZONTAL STRIP DRAIN	LF	14151.0	\$3.00	14151.0	\$42,453.00						
2113-0100000	MODIFIED SUBBASE	CY	20150.3	\$36.80					13318.6	\$486,444.48	6931.7	\$255,086.56
2113-7415010	GRANULAR SHOULDER, TYPE A	TON	3045.9	\$38.00					2195.7	\$85,431.86	858.2	\$25,335.86
2112-5300009	PAVED SHOULDER, P.C. CONCRETE, 9 IN.	SV	145.3	\$65.00					145.3	\$9,444.58		
2112-5300005	PAVED SHOULDER, P.C. CONCRETE, 9.5 IN.	SV	5823.8	\$68.55					2887.2	\$169,975.96	2218.6	\$134,336.23
2112-5190118	PAVED SHOULDER, P.C. CONCRETE, 11 IN.	SV	11869.0	\$72.25	205.0	\$14,811.25			5528.6	\$398,863.35	6148.2	\$443,629.45
2113-7450000	SHOULDER CONSTRUCTION, EARTH	STA	335.04	\$213.91					213.08	\$45,562.83	122.04	\$26,185.58
2112-5879222	PATCHES, PARTIAL-DEPTH REPAIR, HOT MIX ASPHALT	SV	3385.1	\$31.64	3365.1	\$106,473.76						
2301-1093090	STANDARD OR SLIP FORM PORTLAND CEMENT CONCRETE PAVEMENT, OM-C, CLASS 3 DURABILITY, 9 IN.	SV	6587.3	\$68.11					6587.3	\$448,661.08		
2301-1093095	STANDARD OR SLIP FORM PORTLAND CEMENT CONCRETE PAVEMENT, OM-C CLASS 3 DURABILITY, 9.5 IN.	SV	20497.8	\$53.00					6518.9	\$345,469.98	13979.5	\$740,913.50
2301-1093118	STANDARD OR SLIP FORM PORTLAND CEMENT CONCRETE PAVEMENT, OM-C CLASS 3E DURABILITY, 11 IN.	SV	23718.4	\$57.87					9751.7	\$562,878.15	11866.9	\$699,296.89
2301-7000010	PAYMENT ADJUSTMENT INCENTIVE/DISINCENTIVE FOR PCC PAVEMENT THICKNESS (BY SCHEDULE)	EACH	57180	\$8.96					18743	\$25,673.28	30357	\$29,142.72
2312-8260053	GRANULAR SURFACING ON ROAD, CLASS A CRUSHED STONE	TON	685.9	\$23.96							685.9	\$15,954.96
2315-8275825	SURFACING, DRIVEWAY, CLASS A CRUSHED STONE	TON	681.1	\$26.99							394.4	\$10,644.86
2317-7000010	PAYMENT ADJUSTMENT INCENTIVE/DISINCENTIVE FOR PCC PAVEMENT SMOOTHNESS (BY SCHEDULE)	EACH	36603	\$8.97					17243	\$16,628.73	19468	\$18,876.20
2402-0415048	FLOODED BACKFILL	CY	690.9	\$48.05	438.5	\$28,827.43			26.9	\$1,319.45	245.5	\$12,041.78
2402-2720050	EXCAVATION, CLASS 20	CY	1182.0	\$11.92							1182.0	\$14,237.84
2402-2721008	EXCAVATION, CLASS 20, FOR ROADWAY PIPE CULVERT	CY	753.3	\$14.51	394.1	\$5,727.73			93.8	\$1,351.29	264.1	\$3,837.37
2402-1825825	GRANULAR MATERIAL FOR BLANKET	CY	88.0	\$112.85							38.0	\$4,361.50
2403-0100020	STRUCTURAL CONCRETE (RCB CULVERT)	CY	60.1	\$897.12							60.1	\$53,916.91
2404-7775808	REINFORCING STEEL	LB	7684.8	\$1.95							7604.8	\$14,827.80
2416-0160018	APRONS, CONCRETE, 18 IN. DIA.	EACH	12	\$1,174.85	1	\$2,349.76					18	\$21,748.50
2416-0160024	APRONS, CONCRETE, 24 IN. DIA.	EACH	17	\$1,708.46	14	\$23,866.44			2	\$3,400.92	1	\$1,786.46
2416-0160030	APRONS, CONCRETE, 30 IN. DIA.	EACH	2	\$1,786.15							2	\$3,572.30
2416-0160036	APRONS, CONCRETE, 36 IN. DIA.	EACH	2	\$2,862.37							2	\$5,684.74
2416-1160018	CULVERT, CONCRETE ENTRANCE PIPE, 18 IN. DIA.	LF	317.0	\$7.86	87.0	\$5,568.00					238.0	\$3,728.80
2416-1160024	CULVERT, CONCRETE ROADWAY PIPE, 24 IN. DIA.	LF	587.8	\$92.81	580.0	\$46,485.08					87.8	\$8,674.67
2416-1160030	CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA.	LF	176.0	\$189.51							176.0	\$33,353.76
2417-0775824	APRONS, METAL, 24 IN. DIA.	EACH	4.8	\$511.08	4	\$2,046.76						
2417-1060024	CULVERT, CORRUGATED METAL ROADWAY PIPE, 24 IN. DIA.	LF	168.0	\$68.62	168.0	\$11,546.16						
2432-0000100	MECHANICALLY STABILIZED EARTH RETAINING WALL	SP	9155.8	\$47.24					9155.0	\$434,130.18		
2432-0000591	GRANULAR BACKFILL, MSE WALL	TON	6802.7	\$57.86					6802.7	\$393,128.58		
2502-8212034	SUBDRAIN, LONGITUDINAL, (SHOULDER) 4 IN. DIA.	LF	17949.0	\$7.86					13408.0	\$105,366.88	14539.0	\$114,276.54
2502-8211306	SUBDRAIN OUTLET, DR-306	EACH	236	\$462.53					76	\$35,152.28	60	\$27,751.00
2503-0260036	REMOVE STORM SEWER PIPE LESS THAN OR EQUAL TO 36 IN.	LF	44.8	\$19.91							44.0	\$876.84
2503-0500402	BRIDGE END DRAIN, DR-402	EACH	4	\$3,458.08					4	\$13,832.32		
2505-4009300	STEEL BEAM GUARDRAIL	LF	62.5	\$26.77					62.5	\$1,673.13		
2505-4009418	STEEL BEAM GUARDRAIL BARRIER TRANSITION SECTION, BA-201	EACH	2	\$2,833.53					2	\$2,833.53		
2505-4009415	STEEL BEAM GUARDRAIL BARRIER TRANSITION SECTION, BA-209	EACH	2	\$3,367.15					2	\$6,734.30		
2505-4021019	STEEL BEAM GUARDRAIL END ANCHOR, BOLTED	EACH	2	\$303.13								
2505-4021720	STEEL BEAM GUARDRAIL TANGENT END TERMINAL, BA-205	EACH	1	\$3,839.13								
2505-6000211	HIGH TENSION CABLE GUARDRAIL	LF	758.0	\$33.39					758.0	\$25,542.58		
2505-6000121	HIGH TENSION CABLE GUARDRAIL, END ANCHOR	EACH	4	\$3,421.14					4	\$13,684.56		
2505-6000231	HIGH TENSION CABLE GUARDRAIL, SPARE PARTS KIT	EACH	2	\$2,472.54							2	\$4,945.08
2506-4984808	FLOABLE MORTAR	CY	52.5	\$228.41	27.1	\$6,189.92			8.1	\$1,895.80	17.1	\$3,905.81
2510-6745850	REMOVAL OF PAVEMENT	SV	12328.7	\$8.88					3768.3	\$32,739.88	3560.4	\$34,578.36
2517-4215210	RAILROAD APPROACH SECTION, P.C.C.	SV	69.0	\$190.00					69.6	\$13,224.00		
2517-4215218	RAILROAD APPROACH SECTION, HMA	SV	67.6	\$55.00					67.6	\$3,718.00		
2519-3280000	FENCE, FIELD	LF	9862.1	\$4.61							9802.1	\$45,499.68
2519-3300400	FIELD FENCE BRACE PANELS	EACH	48	\$264.53							48	\$12,697.44
2520-3350015	FIELD OFFICE	EACH	1	\$12,297.71								
2526-8285000	CONSTRUCTION SURVEY	LS	1.8	\$28,524.82	0.1	\$7,131.16	0.1	\$7,131.16	0.1	\$7,131.16	0.1	\$7,131.16
2527-9263137	PAINTED SYMBOLS AND LEGENDS, WATERBORNE OR SOLVENT-BASED	EACH	22	\$123.75							23	\$2,846.25
2527-9263181	PAVEMENT MARKINGS REMOVED	STA	817.81	\$28.85					385.5	\$11,587.18	432.31	\$12,504.45
2527-9263208	PAINTED PAVEMENT MARKINGS, WATERBORNE OR SOLVENT-BASED	STA	855.39	\$27.68					426.29	\$11,799.73	429.09	\$11,877.21
2527-9263216	PAINTED PAVEMENT MARKINGS, MULTI-COMPONENT LIQUID	STA	563.34	\$183.58							563.34	\$103,417.96
2527-9263235	PERMANENT TAPE MARKINGS, PREFORMED THERMOPLASTIC MARKING MATERIAL	STA	10.76	\$979.82							10.76	\$10,542.86
2527-9263231	REMOVABLE TAPE MARKINGS, NET RETROREFLECTIVE	STA	33.52	\$198.09							33.52	\$6,671.82
2527-9278112	GROOVES CUT FOR PAVEMENT MARKINGS	STA	981.38	\$33.90							981.38	\$13,306.02
2527-9278128	GROOVES CUT FOR SYMBOLS AND LEGENDS	EACH	23	\$177.66							23	\$4,086.18
2528-2618800	SAFETY CLOSURE	EACH	9	\$193.09					4	\$768.76		
2528-8400048	TEMPORARY BARRIER RAIL, CONCRETE	LF	20837.5	\$15.47	6312.5	\$97,654.4					14525.0	\$224,781.75
2528-8400057	TEMPORARY FLOODLIGHTING LUMINAIRE	EACH	2	\$4,217.08					2	\$8,434.18		
2528-8445110	TRAFFIC CONTROL	LS	1.0	\$61,803.35	0.3	\$15,450.84	0.3	\$15,450.84	0.3	\$15,450.84	0.3	\$15,450.84
2528-8445113	FLAGGERS	EACH	18.0	\$548.23					18.0	\$5,482.30		

Exhibit C

2528-9298050	PORTABLE DYNAMIC MESSAGE SIGN (PDMS)	CDAY	344		\$73.99	28	\$2,871.72			56	\$4,143.44	68	\$4,439.40
2533-1998085	MORTLIZATION	LS	1.0		\$841,657.94	0.5	\$258,778.97	0.1	\$258,778.97				
2538-6975110	SEALING WELLS	EACH	1.0		\$5,527.21	2.0	\$5,527.21						
2548-0060100	NILLED SHOULDER RUMBLE STRIPS, HMA SURFACE	STA	151.43		\$38.00							151.43	\$5,754.34
2548-0060310	ASPHALT EMULSION FOR FOG SEAL (SHOULDER RUMBLE STRIPS)	GAL	200.5		\$9.86							200.5	\$1,976.93
2551-0060330	TEMP CRASH CUSHION, SEVERE USE (SU)	EA	0		\$9,878.59	4	\$38,314.36					4	\$36,314.36
2551-0060230	PERMANENT CRASH CUSHION, SEVERE USE (SU)	EACH	1.0		\$27,057.36								
2555-0055350	RAILROAD PROTECTIVE LIABILITY INSURANCE FOR UNION PACIFIC RAILROAD CO	LS	1.0		\$9,864.13					1.0	\$9,864.13		
2559-9999005	(EACH TON) CENTER PIVOT REMOVAL	EACH	1.0		\$20,000.00	1.0	\$20,000.00						
2559-9999009	(LINEAR FEET) ITEM) OPEN RAIL BARRIER	LF	1452.0		\$320.00					1452.0	\$459,720.00		
2559-9999011	(SQUARE YARDS) ITEM) REINFORCED PAVED SHOULDER FOR OPEN RAIL BARRIER	SY	345.1		\$180.00					345.1	\$62,118.00		
DOT - Division 2 - Roadway													
2436-1245024	CULVERT, 3750 CONCRETE ROADWAY PIPE, 24 IN. DIA.	LF	438.0		\$135.00								
2436-1245036	CULVERT, 3750 CONCRETE ROADWAY PIPE, 36 IN. DIA.	LF	82.0		\$190.00								
MOOREBURY COUNTY - Division 1 - Erosion Control													
2507-3250005	ENGINEERING FABRIC	SY	3806.1		\$2.36								
2507-6800061	REVEINMENT, CLASS E	TON	2782.3		\$59.82					2782.3	\$165,982.40		
2601-2633100	MOWING	ACRE	74.8		\$41.85	18.7	\$782.60	38.7	\$782.60			18.7	\$782.60
2601-2634100	MULCHING	ACRE	37.4		\$462.18	9.3	\$4,344.77	9.3	\$4,344.77			9.3	\$4,344.77
2601-2636015	NATIVE GRASS SEEDING	ACRE	38.5		\$939.27								
2601-2636043	SEEDING AND FERTILIZING (RURAL)	ACRE	6.6		\$583.45	1.7	\$1,127.69	1.7	\$1,127.69			1.7	\$1,127.69
2601-2642100	STABILIZING CROP - SEEDING AND FERTILIZING	ACRE	37.4		\$266.28	9.3	\$1,937.66	9.3	\$1,937.66			9.3	\$1,937.66
2601-0000020	SILT FENCE	LF	10836.0		\$1.49	2507.0	\$3,735.43	2507.0	\$3,735.43	2508.0	\$3,736.92	2508.0	\$3,736.92
2601-0000030	SILT FENCE FOR DITCH CHECKS	LF	22430.0		\$1.50	5602.0	\$8,403.00	5602.0	\$8,403.00	5603.0	\$8,404.50	5603.0	\$8,404.50
2602-0000050	SILT BASINS	EACH	92		\$280.65	23	\$4,798.03	23	\$4,798.03	23	\$4,798.03	23	\$4,798.03
2602-0000071	REMOVAL OF SILT FENCE OR SILT FENCE FOR DITCH CHECKS	LF	32440.0		\$0.92							32440.0	\$2,736.72
2602-0000080	REMOVAL OF SILT BASINS	EACH	92		\$282.66							92	\$48.63
2602-0000101	MAINTENANCE OF SILT FENCE OR SILT FENCE FOR DITCH CHECK	LF	3250.0		\$0.05	812.5	\$40.63	812.5	\$40.63	812.5	\$40.63	812.5	\$40.63
2602-0000130	TEMPORARY SEDIMENT CONTROL BASIN	EACH			\$890.00	1	\$890.00			1	\$890.00		
2602-0000135	REMOVAL OF TEMPORARY SEDIMENT CONTROL BASIN	EACH			\$374.24								
2602-0000140	MAINTENANCE OF TEMPORARY SEDIMENT CONTROL BASIN	EACH			\$361.42	2	\$722.84					2	\$748.48
2602-0000150	STABILIZED CONSTRUCTION ENTRANCE, EC-585	LF	800.0		\$25.58	400.0	\$10,232.00			400	\$10,232.00		
2602-0000172	PERIMETER AND SLOPE SEDIMENT CONTROL DEVICE, 32 IN. DIA.	LF	5260.0		\$2.72	3315.0	\$3,576.00	3315.0	\$3,576.00	3315.0	\$3,576.00	3315.0	\$3,576.00
2602-0000320	PERIMETER AND SLOPE SEDIMENT CONTROL DEVICE, 20 IN. DIA.	LF	15680.0		\$3.57	3915.0	\$13,976.55	3915.0	\$13,976.55	3915.0	\$13,976.55	3915.0	\$13,976.55
2602-0000351	REMOVAL OF PERIMETER AND SLOPE OR DITCH CHECK SEDIMENT CONTROL DEVICE	LF	20980.0		\$0.23							20980.0	\$2,737.40
2602-0000370	DITCH CHECK SEDIMENT CONTROL DEVICE, 20 IN. DIA.	LF	60.0		\$5.20	15.0	\$78.00	15.0	\$78.00	15.0	\$78.00	15.0	\$78.00
2602-0010010	MOBILIZATIONS, EROSION CONTROL	EACH			\$600.00	1.0	\$600.00						
2602-0010020	MOBILIZATIONS, EMERGENCY EROSION CONTROL	EACH	1		\$1,200.00					1	\$1,200.00		
2612-0000520	ROADSIDE SPRAY FOR WEED CONTROL	ACRE	11.0		\$100.00	2.9	\$290.00	2.9	\$290.00	2.9	\$290.00	2.9	\$290.00
MOOREBURY COUNTY - Design No. 0626 - Division 1 - Roadway													
2303-0600703	BRIDGE APPROACH, BR-203	SY	952.1		\$236.70					952.1	\$225,362.64		
2412-0000100	LONGITUDINAL GROOVING IN CONCRETE, BRIDGE DECK	SY	2072.7		\$5.63					2072.7	\$11,668.00		
MOOREBURY COUNTY - Design No. 0626 - Division 1 - Bridge													
2402-2720000	EXCAVATION, CLASS 20	CY	502.0		\$30.97			502.0	\$15,545.94				
2403-0100030	STRUCTURAL CONCRETE (BRIDGE)	CY	284.0		\$699.25			284.0	\$255,559.50				
2403-0100030	STRUCTURAL CONCRETE 4500 PSI OR GREATER, AS SPECIFIED	CY	462.7		\$638.00			462.7	\$304,041.00				
2403-1000005	FIBER REINFORCEMENT FOR STRUCTURAL CONCRETE	CY	462.7		\$37.73			462.7	\$17,457.67				
2404-1000010	TRIAL BATCH AND TEST PLACEMENT (FIBER REINFORCED CONCRETE)	LS	1.0		\$10,000.00								
2404-2775500	REINFORCING STEEL	LB	40,490.0		\$1.48			40490.0	\$59,925.28				
2404-2775005	REINFORCING STEEL, EPOXY COATED	LB	144,353.0		\$2.39					144353.0	\$300,650.67		
2404-2775009	REINFORCING STEEL, STAINLESS STEEL	LB	5,753.0		\$3.93					5,753.0	\$22,609.29		
2407-0563115	BEAMS, PRETENSIONED PRESTRESSED CONCRETE, BTCL15	EACH	14		\$29,874.46					14	\$418,242.44		
2408-7800000	STRUCTURAL STEEL	LB	5,136.0		\$4.59						\$1,360.00		
2414-0424030	CONCRETE BARRIER RAIL, 3'-8"	LF	518.0		\$103.17					518.0	\$53,442.06		
2501-0203057	PILES, STEEL, HP 10 X 57	LF	10,925.0		\$17.88			10925.0	\$623,590.00				
2503-7500010	DYNAMIC PILE TEST	LS	1.0		\$1,500.00						\$1,560.00		
2503-6335010	PRECURED HOLES	LF	400.0		\$29.24			400	\$33,656.08				
2507-2638620	MACADAM STONE SLOPE PROTECTION	SY	738.2		\$67.68					738.2	\$40,961.38		
2507-2638660	BRIDGE WING ARMORING - MACADAM STONE	SY	24.3		\$133.00					24	\$3,251.34		
2526-8285000	CONSTRUCTION SURVEY	LS	1.0		\$13,318.49			0.5	\$5,659.25	0.5	\$5,659.25		
2533-4980005	MOBILIZATION	LS	1.0		\$195,174.93	0.9	\$175,657.44	0.2	\$19,517.49				
DOT - Design No. 0626 - Division 2 - Bridge													
2407-0563115	BEAMS, PRETENSIONED PRESTRESSED CONCRETE, BTCL15	EACH	1		\$29,874.46								
MOOREBURY COUNTY - Division 1 - Signage													
2401-6745350	REMOVAL OF CONCRETE FOUNDATIONS OF HIGHWAY SIGNS	EACH	10.0		\$593.79	10.0	\$5,937.90						
2526-6765010	REMOVE AND REINSTALL SIGN AS PER PLAN	EACH	18		\$312.84					4	\$1,251.36	4	\$1,251.36
2524-6765016	REMOVE AND REINSTALL REFERENCE LOCATION SIGN	EACH	4		\$275.00							4	\$1,100.00
2524-6765110	REMOVAL OF TYPE A SIGN ASSEMBLY	EACH	14		\$124.27	1	\$124.27				\$248.54	11	\$1,366.97
2524-6765270	REMOVAL OF TYPE B SIGN ASSEMBLY	EACH	7		\$640.14							7	\$4,480.98
2524-9885101	CONCRETE FOOTING FOR BREAKAWAY SIGN POST, 2'-8" DIA. X 6'-8"	EACH	24		\$1,813.46								\$12,137.52
2524-9889100	DELINATOR, RIGID - TYPE 1	EACH	54		\$118.78					12	\$12,137.52		
2524-9889110	DELINATOR, RIGID - TYPE 2A	EACH	74		\$97.25							24	\$5,081.66
2524-9889200	DELINATOR, RIGID - TYPE 2	EACH	74		\$103.23							74	\$7,493.62
2524-9300030	OBJECT MARKER, TYPE 3	EACH	1		\$120.95								\$362.85
2524-9276010	PERFORATED SQUARE STEEL TUBE POSTS	LF	969.1		\$15.45					771.7	\$11,822.38	197.4	\$3,050.29
2524-9276027	PERFORATED SQUARE STEEL TUBE POST ANCHOR, TRIANGULAR SLIP BASE ASSEMBLY	EACH	72		\$473.52					97	\$28,990.64	15	\$7,182.80
2524-9201210	STEEL BREAKAWAY SIGN POSTS FOR TYPE A OR B SIGNS, 6' X 21"	LF	394.9		\$63.93					187.8	\$16,205.75	197.1	\$16,148.40
2524-9315001	TYPE A SIGNS, SHEET ALUMINUM	SY	530.0		\$30.00						\$7,692.21	171.0	\$3,614.83
2524-9310001	TYPE B SIGNS, EXTRUDED ALUMINUM STRUCTURAL PANEL	SY	1151.0		\$18.05					240.1	\$7,215.01	910.9	\$27,372.55
2526-8205000	CONSTRUCTION SURVEY	LS	1.0		\$2,250.58					1	\$2,250.58		
2528-0445110	TRAFFIC CONTROL	LS	1.0		\$3,542.13					0.5	\$3,771.07	0.5	\$1,771.07
2533-1998005	MOBILIZATION	LS	1.0		\$11,786.02					0.5	\$5,893.01	0.5	\$5,893.01

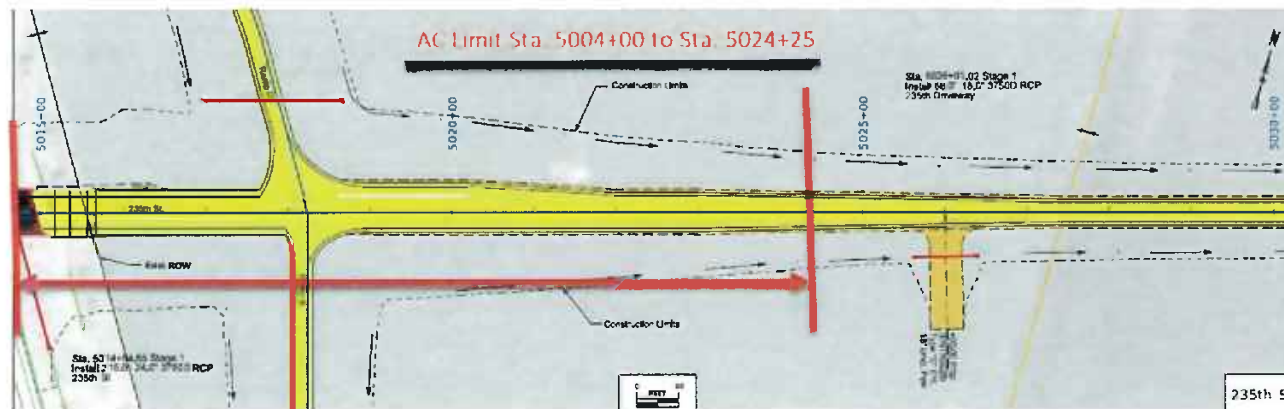
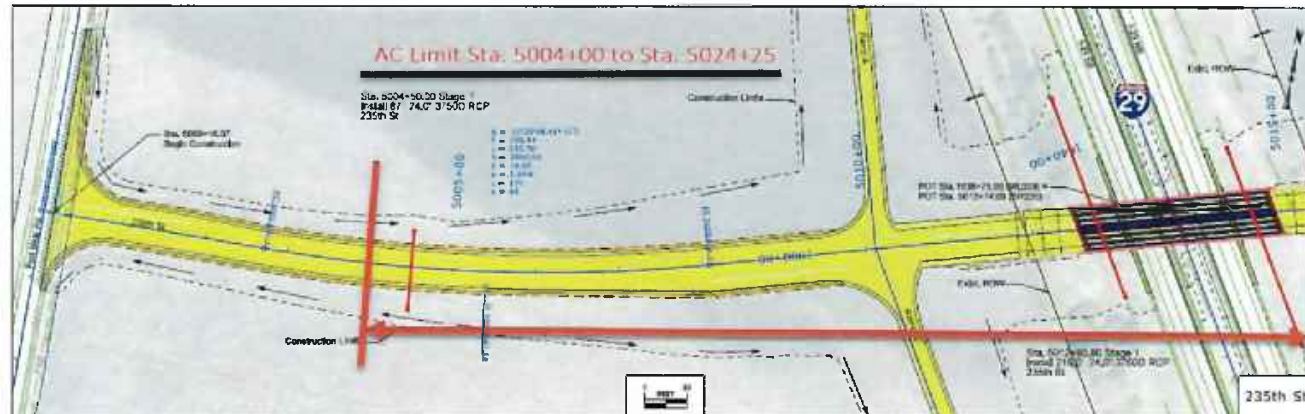
Exhibit C

Item No.	Description	Unit	Quantity	Unit Price	Amount	Subtotal	Subtotal	Subtotal	Subtotal
2555-0000010	REINFORCING AND STOCKPILE SALVAGED MATERIALS	LS	1.0	\$2,605.16					
2599-9999005	("EACH" ITEM) MASSH AND POSTS	EACH	4	\$2,500.00					\$1,605.16
2599-9999005	("EACH" ITEM) BORE DELINEATOR	EACH	14	\$150.00					\$6,000.00
									\$2,100.00
	DOT - Division 2 - Signal								
2525-0000100	TRAFFIC SIGNALIZATION	LS	1.0	\$350,000.00					
2526-0205000	CONSTRUCTION SURVEY	LS	1.0	\$5,000.00					
2533-4900005	MOBILIZATION	LS	1.0	\$17,750.00					
	DOT - Lighting								
2523-0000008	LIGHTING POLE	EACH	8	\$6,500.00					
2523-0000008	ELECTRICAL CIRCUIT	LF	2502.0	\$22.00					
2523-00000310	HANDHOLE+JUNCTION BOX	EACH	8.0	\$1,600.00					
2523-00000400	CONTROL CABINET	EACH	2.0	\$13,000.00					
2526-0205000	CONSTRUCTION SURVEY	LS	1.0	\$5,000.00					
2528-0445110	TRAFFIC CONTROL	LS	1.0	\$5,000.00					
2533-4900005	MOBILIZATION	LS	1.0	\$10,000.00					
2599-9999005	("EACH" ITEM)	EACH	1.0	\$20,000.00					
	DOT - ITS								
2510-0000020	ITS POWER INSTALLED FOUND, INSTALL ONLY	EACH	1.0	\$2,000.00					
2510-0000030	ITS STEEL POLE, INSTALL ONLY	EACH	1.0	\$2,500.00					
2510-0000055	ITS DEVICE CABINET, INSTALL ONLY	EACH	1.0	\$2,500.00					
2510-0000090	ITS HANDHOLE 30x17x24	EACH	1.0	\$1,500.00					
2510-0002200	ITS CONDUIT, HDPE, 2 INCH PLOWED	LF	40.0	\$20.00					
2510-0006000	XHHW COPPER WIRE, NO. 8 AWG	LF	200.0	\$15.00					
	Construction Estimate (Stage)				\$2,007,200.00	\$1,740,000.00	\$6,270,720.00	\$4,107,000.00	
	Construction Estimate (Final Year)				\$2,007,200.00	\$1,740,000.00	\$6,270,720.00	\$4,107,000.00	
	Contingency (20%)				\$401,440.00	\$348,000.00	\$1,254,144.00	\$781,400.00	
	Project Construction Sub Estimate (Division 3 Only)						\$7,524,864.00	\$4,888,400.00	

ROW COSTS				
Parcel	Owner	Date of Purchase	Acres	Cost
1	Inet M. Jorgensen Revocable Trust	5/8/2025	33.57	\$ 275,100.00
2	Lane M. Jorgensen and Leifada L. Jorgensen	5/8/2025	0.18	\$ 9,500.00
	L & C Farm, LLC	5/29/2025	14.34	\$ 315,000.00
4	Fredt. Godfredson and Margaret A. Godfredson Revocable Trust	5/28/2025	7.88	\$ 121,832.00
	Mark S. Godfredson, a single person	3/10/2025	1.65	\$ 28,700.00
			ROW Subtotal	\$758,112.00

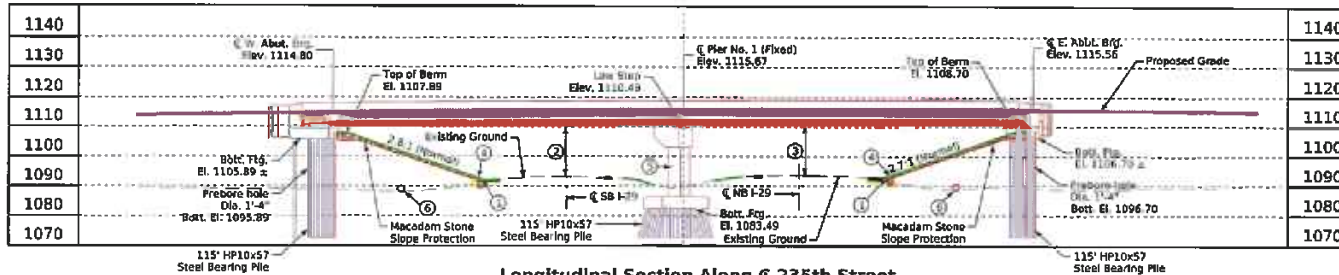
Final Project Estimate (Woodbury County Only)	\$10,909,993.61
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ACCESS CONTROL DIAGRAM:

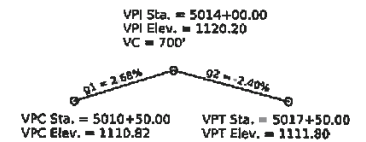


Control Point 97K25023: N 8542503.05, E 14089982.04; CP FENO Monument set in N edge of field entrance on east side K25 approx. 450 ft. S. Intersection K25 and 235th St. Elev. 1091.12

Exhibit E



- ① EW-204 Grading - 5' Offset
- ② Minimum vertical clearance = 17.20'
- ③ Minimum vertical clearance = 17.07'
- ④ Grading Surface
- ⑤ Tee Pier
- ⑥ Proposed 24 in. RCP Culvert
- ⑦ Macadam Stone Slope Protection (Embedded)



Note:
Top of bridge deck at centerline roadway is 0.03' below the profile grade to account for parabolic crown. Profile grade line (PGL) is at 0.

Utilities Note:

Utilities shown on this sheet are for information only. See Road Design sheets for utility information.

General Utility Symbols:

E - Electric Line
G - Gas Line
SAN - Sanitary Sewer
T - Telephone Line
W - Water Line
FO - Fiber Optic Line
GHP - Gas High Pressure
STS - Storm Sewer
TV - TV
PP - Power Poles

Traffic Estimate

I-29	
2022 AADT	20,600 V.P.D.
2050 AADT	33,400 V.P.D.
20+ DMV TRUCKS	1 V.P.H.
Total Design ESALs	—

Traffic Estimate

235th Street (W. of I-29)	
2025 AADT	51 V.P.D.
2050 AADT	1470 V.P.D.
20+ DMV TRUCKS	13.0 %
Total Design ESALs	—

Location

235th Street over I-29
T-87N R-47W
Section B
Liberty Township
Woodbury County
FHWA No. 701220
Latitude 42.364207°
Longitude -96.345550°

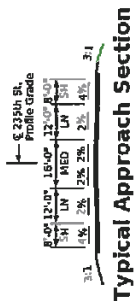
Traffic Estimate

235th Street (W. of I-29)	
2025 AADT	— V.P.D.
2050 AADT	4490 V.P.D.
20+ DMV TRUCKS	— %
Total Design ESALs	—

Design For 15° Skew (R.A.)
232'-0" x 56'-0" Prestressed
116'-0" End Spans
Pretensioned Conc. Beam Bridge
BTC Beams

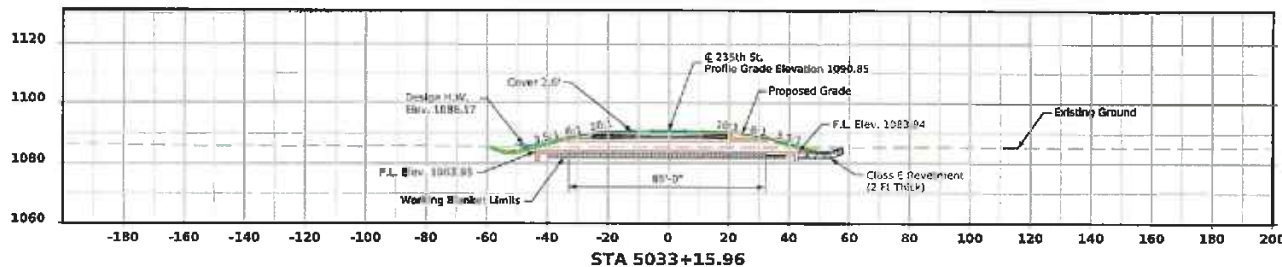
Situation Plan

STA. 5013+74.10 (235th St.)
Woodbury County
IOWA DEPARTMENT OF TRANSPORTATION
Design No. 626 Design Sheet No. 5 of 30 FHWA No. 701220



Control Point: 97K25023 CP FENO MONUMENT SET IN N EDGE OF FIELD ENT ON EAST SIDE K25 APPROX 450 FT S INTERSECTION K25 & 235TH ST N. 8542503.047, E. 14069982.042, Elev. 1091.125

Exhibit E



Longitudinal Section Along @ Culvert

General Notes:

This design is for the design of a new Single 6'-0"x3'-0"x65'-0" RCB Culvert.

Design Notes:

1. Fill for this C.I.P. Culvert is 2.6'.
2. Anticipated Settlement has been addressed by surcharge and wick drains. See "I" Sheets for more information.
3. Density used for Class E quantity calculations is 1.5 Tons/CY.
4. Revetment is proposed at the culvert outlet.
5. Due to anticipated future loads, utilize the "zero cover" thickness top slab for this culvert from the RCB standard detail.

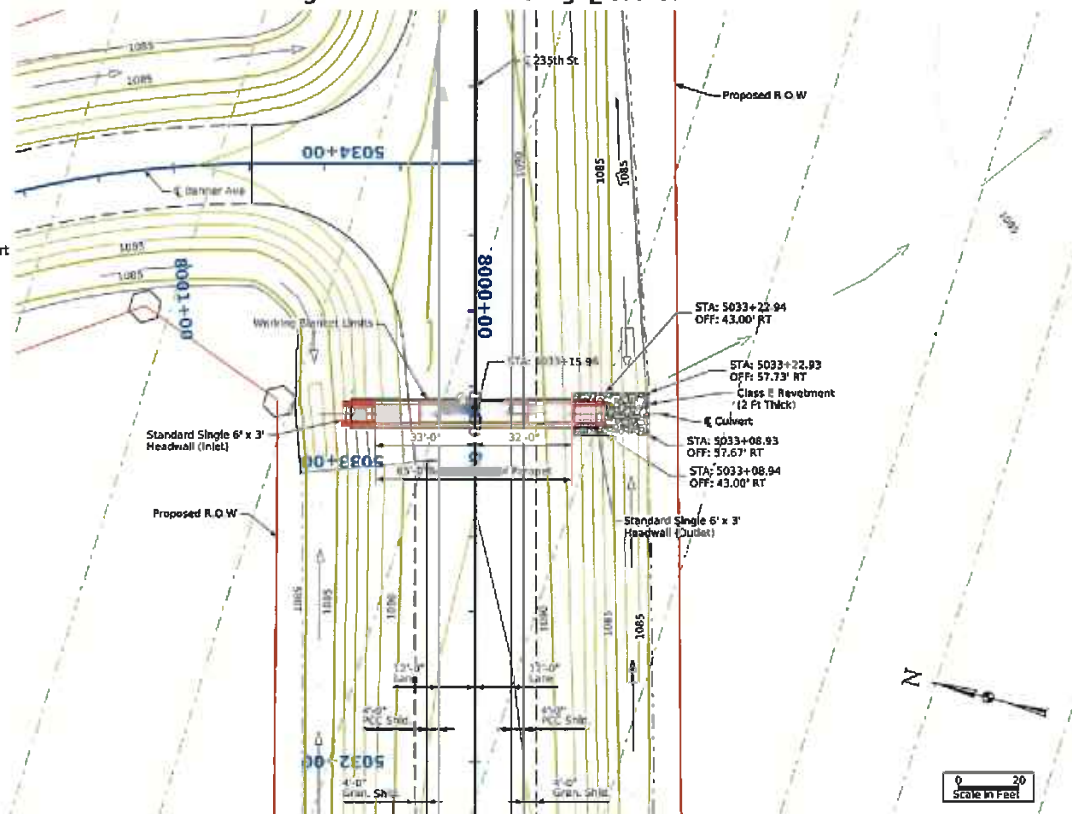
Plan Notes:

1. Drainage through culvert/channel must be maintained throughout construction.

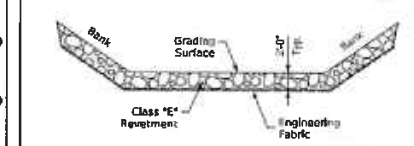
Hydraulic Data

Drainage Area = 5.5 Acres
Stream Slope = 10.13 Ft./Mi.
 $Q_{50} = 32.3$ cfs
HW Elev. = 1086.17
Exit Velocity = 0.45 fps

$Q_{100} = 40.0$ cfs
HW Elev. = 1086.33
Exit Velocity = 0.49 fps



Situation Plan

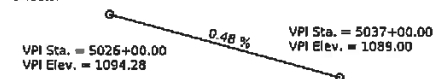


Typical Channel Protection

Estimated Revetment Quantities Included With Road Plans

Location	Revetment Class "E" (Ton)	Engineering Fabric (SY)	CL 13 Channel Excavation (CY)
Inlet			
Outlet	33	33	22
Totals	33	33	22

Excavation quantity calculated from grading surface. Excavation quantity is for embedded revetment core out only, and does not include excavation to the grading surface. Excavation quantity to the grading surface is determined by Road Design and included in the Road Plans. Quantities shown for information only. See Road Sheets.



Proposed Profile Grade 235th St.

Location

235th Street over ditch
T-87N R-47W
Section 8
Liberty Township
Woodbury County
Latitude 42.365789°
Longitude -96.339014°

Traffic Estimate

2025 AADT 51 V.P.D.
2050 AADT 1470 V.P.D.
TRUCKS 13 %

Utilities Note:

Utilities shown on this sheet are for information only. See Road Design sheets for utility information.

General Utility Symbols:

E - Electric Line
G - Gas Line
SAN - Sanitary Sewer
TV - Telephone Line
W - Water Line
FO - Fiber Optic Line
GHP - Gas High Pressure
ST S - Storm Sewer
TV - TV
P - Power Poles

Design For 0° Skew

Single 6'-0" x 3'-0" x 65'-0"
Reinforced Concrete Box Culvert

Situation Plan C.I.P.

STA. 5033+15.96 (235th St.) Turn-In Date: November 2025

Woodbury County

IOWA DEPARTMENT OF TRANSPORTATION
Design No. Design Sheet No. 3 of 4 FHWA/Asset

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/2/2025 Weekly Agenda Date: 12/9/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Laura Sievers, PE, County Engineer

WORDING FOR AGENDA ITEM:

Consider approval of resolution to update County bridge postings and closures

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☒

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

County bridges are inspected every two years at a minimum, more frequently if needed. Structural calculations have determined that the listed bridges have become more deficient

BACKGROUND:

Annual bridge inspections have been completed for 2025. Several bridges were found to have deteriorated during the current inspection interval. Structural calculations performed on these bridges determined that these bridges can no longer carry legal semi and truck loads. They must be posted for reduced load ratings. One bridge must be closed due to damaged structural members.

FINANCIAL IMPACT:

Financial impact is limited for the recommended changes and will be budgeted through the signs and bridge maintenance Secondary Road line items.

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☒

RECOMMENDATION:

I recommend that the Board approve the resolution to change the bridge postings and closures

ACTION REQUIRED / PROPOSED MOTION:

Motion to approve the resolution to change the bridge postings and closures

**WOODBURY COUNTY
BRIDGE EMBARGO RESOLUTION**

RESOLUTION NO. _____

WHEREAS: The Board of Supervisors is empowered under authority of Sections 321.236 Sub. (8), 321.471 to 321.473 to prohibit the operation of vehicles or impose limitations as to the weight thereof on designated highways or highway structures under their jurisdiction, and

WHEREAS: the Woodbury County Engineer has caused to be completed the Structure Inventory and Appraisal of certain bridges according to accepted Bridge Inspection Standards and has determined that the bridges below, require revision to their current load ratings,

NOW, THEREFORE, BE IT RESOLVED by the Woodbury County Board of Supervisors that the following vehicle and load limit be established and that closure signs be placed advising of the permissible maximum weights or closures thereof on the bridge listed herein.

<u>Bridge No.</u>	<u>FHWA No.</u>	<u>Section Township Range</u>	<u>Posted Limit</u>
G-043	353950	07-88-46	Close until replacement
M-185	351270	05-87-42	One Lane bridge
N-191	351840	34-87-43	One Lane bridge
P-006	352340	04-87-45	3 Tons, One Lane Bridge

Passed and approved this 9th day of December 2025.

Recommended:

Laura Sievers, P.E.
Woodbury County Engineer

Daniel A. Bittinger II, Chairperson
Woodbury County Board of Supervisors

Attest:

Michelle K. Skaff
Woodbury County Auditor



DEFICIENT BRIDGE NOTIFICATION

Date: December 2, 2025

Time: 8:45 A.M.

Initials: SJB/JPD/TAC

Owner: Woodbury County

Contact Person: Laura Sievers, P.E., County Engineer

Telephone / Email: 712-873-3215 / lsievers@woodburycountyiowa.gov

Project Name: 2025 Bridge Inspections and Rating

County ID	FHWA #	Deficiency/Remarks	Posting		Recommendations
			Current	Recomm.	
G-043	353950	Severely decayed and failed pier pile.	3 Tons & "One Lane"	Close	Replace bridge soon.
M-185	351270	Pier pile decay.	None	"One Lane"	May post "26,40,40" & "All Veh's" for two lane loading. Consider substructure repairs or replacement.
N-106	351851	Drift blocking channel and causing erosion to encroach on abutments.	None	None	Remove drift and repair erosion. Install protection along abutments.
N-191	351840	Failed exterior pier pile with others severely decayed.	6 Tons & "Narrow"	Barricade east 5' of deck - full length of bridge & Post "One Lane" to keep "6 Tons" current load posting.	Barricade/close east 5' of deck width. Post "One Lane" instead of "Narrow". Scheduled for 2026 replacement.
P-006	352340	East caps at northwest and southwest truss bearing rolled with no bearing on piles. Split and decayed cross caps. Severe deck plank decay with holes formed.	3 Tons & "One Lane"	Close	Close bridge. Consider temporary repairs by installing steel straps to secure pier cap to truss bearing piles and replacing broken deck plank to reopen to "3 Tons" & "One Lane". Scheduled for 2029 replacement.

POSTINGS UPDATED NAME: _____ DATE: _____ *

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12/2/2025 Weekly Agenda Date: 12/9/2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Laura Sievers, PE, County Engineer

WORDING FOR AGENDA ITEM:

Consider approval of a Public Highway Agreement for the Southbridge Interchange Project

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

Woodbury County agrees to the public highway agreement for the Southbridge Project IMN-029-6(170) 139-0E-97

BACKGROUND:

Federal Regulations (CFR), Title 23, parts 140, 172, 646, and 655 provide for Union Pacific Railroad Company, Woodbury County, and the Iowa DOT enter into a Public Highway Agreement

FINANCIAL IMPACT:

The Iowa DOT will design, fund, let, and inspect construction of the project and the County will reimburse as per 2.Project Costs (a)-(e)

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☒ No ☐

RECOMMENDATION:

Recommend that the board approve the public highway agreement with the Union Pacific Railroad Company and the Iowa DOT for the Southbridge Interchange project: IMN-029-6(170)139-0E-97

ACTION REQUIRED / PROPOSED MOTION:

Motion to approve the public highway agreement with the Union Pacific Railroad Company and the Iowa DOT for the Southbridge Interchange project: IMN-029-6(170)139-0E-97

UPRR Project No.
0791091

PUBLIC HIGHWAY AGREEMENT

New Interstate 29 (I-29) Interchange at 235th Street
(Southbridge Interchange)

Relocation of 235th Street at-grade crossing with
Union Pacific Railroad Company Trackage at Mile Post 65.38
Sioux City Sub, Sergeant Bluff, Woodbury County, State of Iowa
Project # IMN-029-6(170)139--0E-97
U.S. DOT No. 191296B

This PUBLIC HIGHWAY AGREEMENT ("Agreement") is made by and between **UNION PACIFIC RAILROAD COMPANY**, a Delaware corporation, to be addressed at Real Estate Department, MS 1690, 1400 Douglas Street, Omaha, Nebraska 68179 (the "Company"), **IOWA DEPARTMENT OF TRANSPORTATION**, a political subdivision of the State of Iowa acting by and through its District Engineer, Field Operations Division to be addressed at 800 Lincoln Way, Ames, Iowa 50010 (the "State"), and **WOODBURY COUNTY**, Iowa, to be addressed at 620 Douglas Street, Sioux City, Iowa 51101 (the "County").

RECITALS:

WHEREAS, the State under its Project IMN-029-6(170)139--0E-97 (the "Project") will be constructing an interchange on Interstate 29 (I-29) between the existing interchanges at Sergeant Bluff, Iowa, to the north (1st Street/Aviation Boulevard, Interchange 141) and Port Neal Landing in Salix, Iowa, to the south (County Road D51/260th Street, Interchange 135). The new interchange will add access to I-29 from 235th Street, both east and west of I-29. The proposed interchange is located in Woodbury County.

WHEREAS, the State under its Project IMN-029-6(170)139--0E-97 will realign and widen 235th Street and Old US 75, and reconstruct FRA191296B, an at-grade public crossing at Company Milepost 65.38 on the Company's Sioux City subdivision in Woodbury, County, Iowa.

WHEREAS, the attached (100%) completed plans that are approved in writing by the Company's Assistance Vice President Engineering-Design, or his authorized representative, are hereinafter referred to as the "Plans", described below in Article 4.B., are marked **Exhibit A**, attached hereto and hereby made a part hereof.

AGREEMENT:

NOW, THEREFORE, in consideration of the premises and other good and valuable consideration the receipt and adequacy of which being hereby acknowledged, it is mutually agreed by and between the parties hereto as follows:

The Recitals set forth above are hereby incorporated into this Agreement and made a part hereof.

ARTICLE 1 - COMPANY NOT TO BEAR ANY PROJECT COSTS

The State confirms that the Company shall not bear any Project costs nor be responsible in contributing any funds for the Project.

ARTICLE 2 - GENERAL AGREEMENT

With regard to the Project, the State, each Contractor (as defined in Article 8), and the Company shall perform and abide by the terms and conditions of State's Developmental Specifications for Railroad Right-of-Way marked **Exhibit B**, attached hereto and made a part hereof (the "Developmental Specifications").

ARTICLE 3 - PERMANENT AND TEMPORARY EASEMENTS

State confirms that for this Project there is additional area needed for the State to perform all Project work affecting Company's property within the area and that the State does need additional permanent right of way and temporary right of way rights for this Project.

A. For and in consideration of Five Thousand and NO/100ths Dollars (\$5,000.00) to be paid by the State to the Company upon the execution and delivery of this Agreement, the Company shall execute and deliver to the State a permanent non-exclusive easement on, along, and across the portion of the Company's property shown on the survey print marked **Exhibit C** and described in the legal description marked **Exhibit C-1**, attached hereto and hereby made a part hereof, (the "Encroachment Area"), for the construction, use, maintenance and repair of the Roadway. The form of the permanent easement document to be prepared by the State and submitted to the Company for execution is marked as **Exhibit D**, attached hereto and hereby made a part hereof.

B. For and in consideration of Two Thousand Five Hundred and NO/100ths Dollars (\$2,500.00) to be paid by the State to the Company upon the execution and delivery of this Agreement, the Company shall execute and deliver to the State a temporary non-exclusive easement on, along, and across the portion of the Company's property shown on the survey print marked **Exhibit E** and described in the legal description marked **Exhibit E-1**, attached hereto and hereby made a part hereof, (the "Encroachment Area"), for the construction, use, maintenance and repair of the Roadway.

ARTICLE 4 - PLANS FOR THE PROJECT

A. The State, at its expense, shall prepare or cause to be prepared by others, the detailed plans and specifications for the Project and submit such plans and specifications to the Company's Assistant Vice President Engineering-Design, or his authorized representative, for review and approval.

B. The attached (100%) completed plans that are approved in writing by the Company's Assistant Vice President Engineering-Design, or his authorized representative, are hereinafter referred to as the "Plans." The Plans are hereby made a part of this Agreement by reference.

C. No changes in the Plans, affecting the Company, shall be made unless the Company has consented to such changes in writing.

D. The Company's review and approval of the Plans in no way relieves the State or the Contractor from their responsibilities, obligations and/or liabilities under this Agreement, and will be given with the understanding that the Company makes no representations or warranty as to the validity, accuracy, legal compliance or completeness of the Plans and that any reliance by the State or any Contractor on the Plans is at the risk of the State and each Contractor.

ARTICLE 5 - COMPANY WORK; COMPANY'S ESTIMATE

A. The review of Plans, flagging, and engineering inspection to be performed by the Company for the Project is described in the Preliminary Company's Material and Force Account Estimate for Surface dated September 21, 2025 and Company's Material and Force Account for Signal dated September 16, 2025, attached hereto as **Exhibit F** and made a part hereof (the "Estimate"). As set forth in the Estimate, the Company's estimated cost that it will incur under this Project is SEVEN HUNDRED NINETY EIGHT THOUSAND SIX HUNDRED SIXTY FOUR DOLLARS AND NO/100TH (\$798,664.00).

B. The work to be performed by the Company and the Estimate may be supplemented by extra work orders approved by the State's Construction Engineer when reasonable and necessary to (i) satisfactorily complete the Project and/or (ii) not adversely affect Company operations or facilities in a permanent or significant manner. State's Construction Engineer and Company authorized representative shall approve each said extra work order in a timely manner provided said extra Company work and cost meets the same requirements for Project eligibility and compatibility had the need thereof been determined prior to approval of this Agreement. Upon approval of any extra work orders the extra work orders shall become part of this Agreement.

C. The Company's Material and Force Account Estimate will be updated and added by Addendum to this agreement.

ARTICLE 6 - PROJECT WORK BY STATE AND CONTRACTOR

A. The State, at its expense, shall obtain and furnish all material for the Roadway and shall construct the Roadway in compliance with the Plans.

B. The Project work to be performed by the State shall be awarded to a competent and experienced Contractor who has a State Certificate of Eligibility, adequate equipment, organization and finances, and the Company shall be notified of the name, address and other information of the Contractor receiving such award for all Project work affecting the Company's interests.

C. All Project work of the State and Contractor upon the Project Area shall be performed and completed in a manner satisfactory to the Company's Design Engineer or his authorized representative and in compliance with the Plans.

D. The State shall require each Contractor to comply with the Plans and the Developmental Specifications in its performance of any Project work.

ARTICLE 7 - COMPANY'S BILLING; STATE'S PAYMENT OF BILLING

A. The Company shall send progressive billing to the State and final billing to the State within one hundred eighty (180) days after receiving written notice from the State that all Project work affecting the Project Area has been completed.

B. The State agrees to reimburse the Company, within forty five (45) days of its receipt of billing from the Company, for one hundred percent (100%) of all actual costs incurred by the Company in connection with the Project including, but not limited to, all actual costs of engineering review, construction inspection and oversight, flagging, procurement of materials, equipment rental, manpower and deliveries to the job site and all direct and indirect overhead labor/construction costs including Company's standard additives rates as allowed by Federal Audit.

ARTICLE 8 - WORK TO BE PERFORMED BY STATE'S CONTRACTOR

For purposes of this Agreement, the term "Contractor" shall mean the contractor or contractors hired by the State to perform any Project work on any portion of the Project Area, and shall also include the Contractor's subcontractors and the Contractor's and subcontractor's respective employees, officers and agents, and others acting under its or their authority.

ARTICLE 9 - WIRE LINES, APPURTENANCES, SIGNAL SYSTEMS

A. That portion of the Plans related to the plans and estimates of cost for charges in third party owned wirelines, appurtenances and systems across, on, over, under and upon the Project Area, as necessitated by the Project, shall be prepared by the State, at its expense, and all

such plans and estimates shall be subject to written approval by an authorized representative of the Company.

B. If the Project requires any of Company's signal lines, communication lines or other facilities to be protected, reinforced or relocated, the Company shall include such work in its Estimate described in Article 5.

C. State, at its expense, shall contact and work directly with all third parties who own or operate any non-railroad facility (including, without limitation, utilities, fiber optics, pipelines, wirelines, communication lines and fences) to cause all such facilities to be protected, encased, reinforced and/or relocated as necessary to accommodate the Project including, without limitation, as necessary to comply with Company's standard specifications and requirements, including, without limitation, American Railway Engineering and Maintenance-of-Way Association ("AREMA") standards and guidelines and pursuant to plans for such work that have been approved by Company and the owner of the facility. State acknowledges that if such work is performed by the owner of the facility, then such owner and its contractors must contact and make application to Company's Real Estate Department or Fiber Optics Department for Company permission to perform such work, execute Contractor's Right of Entry Agreements and pay any associated fees to Company including, without limitation, engineering review and flagging fees. Company has no obligation to provide property for relocated facilities or permission for facility changes or relocations that do not comply with Company's standard specifications and requirements including, without limitation, AREMA standards and guidelines.

ARTICLE 10 - INSURANCE

A. Before any work on the Project begins, the Contractor will provide the Company the insurance binders, certificates and endorsements that are described in **Exhibit B**.

B. All insurance correspondence, binders, certificates and endorsements shall be directed to: Union Pacific Railroad Company, 1400 Douglas Street, Mail Stop 1690, Omaha, Nebraska 68179, ATTENTION: Manager – Real Estate Public Projects.

ARTICLE 11 - PROJECT DRIVEN OBLIGATIONS

As part of the Project, the Company may make any and all changes, alterations or relocations to the Project Area, whether temporary or permanent, and shall provide flagging and other protective services and devices, which in the Company's judgment may be or become necessary or expedient within the Project Area because of the Project.

ARTICLE 12 - FLAGGING

Notwithstanding anything to the contrary in this Agreement or the Developmental Specifications, the Company, in its sole and absolute discretion, shall determine whether a flagman or other special protective or safety measures are required in connection with the Project (any of the foregoing, collectively "Flagging Services"). For purposes of clarity, the Company and State each acknowledge that Company may contract a third party for the performance of any Flagging

Services that are part of Company's work or, alternatively, that the State and/or its Contractor may hire a third party as a Contractor to perform Flagging Services, subject to terms and conditions set forth in this Agreement. If any Flagging Services are to be performed in connection with the Project, then, after consultation with the State, the Company shall determine, in Company's sole and absolute discretion, whether Company or a third party will perform and subsequently bill the State or, alternatively, the Contractor directly, for the costs of such Flagging Services. If Company determines the Contractor will be billed directly pursuant to the foregoing sentence, State agrees that it will pay the Company third party, as applicable, on demand for any such costs that have not been paid by any Contractor within thirty (30) days of the Contractor's receipt of billing. The State acknowledges that whether or not the Estimate includes costs for Flagging Services performed by Company or a third party, such costs shall be at no expense to Company.

ARTICLE 13 - PRECONSTRUCTION MEETING

Subsequent to the award of any contract (or contracts), and before any work is started on the Project, a Preconstruction Meeting shall be held between the representatives of the State, the Company and the interested Contractor, at a time and place as designated by the State's representative, for the purpose of coordinating the work to be performed by the several parties, and at which time a schedule of operations will be adopted.

ARTICLE 14 - CLEARANCES

The temporary minimum clearances, with reference to the Company's track, of any necessary falsework, bracing or forms as required for the construction of the New Structure, shall be as provided in the Plans and **Exhibit B**.

ARTICLE 15 - NOTICE

The State shall require each Contractor, before entering upon the Project Area for performance of any Project work, to notify the authorized representative of the Company at least fifteen (15) days in advance for the occupancy and use of the Project Area, and to comply with Company's recommendations relative to the requirements for railroad clearances, operation and general safety regulations.

ARTICLE 16 - SAFETY

A. In addition to the terms of **Exhibit B**, the safety and continuity of operation of the traffic of the Company shall be at all times protected and safeguarded and the State shall ensure that its Contractor performs the work for the Project accordingly. Whenever the work for the Project may affect the safety of trains, the method of doing such work shall first be submitted to the Company's authorized representative in writing for his approval in writing without which it shall not be commenced or prosecuted. Such approval shall not be unreasonably withheld. The approval of the Company's authorized representative shall not be considered as a release from responsibility, or liability for any damage which the Company may suffer, or for which it may be held liable by the acts of the Contractor.

B. The work for the Project shall be performed at such times and manner as to not interfere with the movement of trains or traffic upon the Company's tracks and the Contractor shall use all reasonable care and caution in order to avoid accidents, damage, delay or interference with the Company's trains or other facilities. The Company has the right to stop work on the Project, after notice to the State, if in its opinion the manner in which the Project is being constructed adversely impacts rail safety or is not in accordance with the Plans or the Developmental Specifications for that portion of the Project on the Project Area or that affects the rail operations of the Company. Should the Company deem it necessary to stop work on the Project, the authorized representatives of the State and the Company shall meet within forty-eight (48) hours to discuss required actions to resume work.

ARTICLE 17 - COMPLETION CONDITION

The State shall require its Contractor, upon the completion of the work of such Contractor, to remove from within the limits of the Project Area all machinery, equipment, surplus materials, falsework, rubbish or temporary buildings of such Contractor, and to leave the Project Area upon which the said Contractor carried on operations in a neat condition, with adequate surface erosion protection satisfactory to the authorized representative of the Company.

ARTICLE 18 - OWNERSHIP, MAINTENANCE, REPAIRS AND MODIFICATIONS

A. The County shall own the Roadway and the County, at its expense, shall maintain, repair and renew, or cause to be maintained, repaired and renewed, the Roadway, in their entirety or any portion thereof, including, but not limited to, all backfill, grading and drainage required by reason of the Roadway, and is hereby granted necessary access to the Encroachment Area. .

B. If the County shall fail, refuse or neglect to perform the maintenance and repairs described in Article 18.A, the Company, in addition to any other rights and remedies, may, if it so elects, perform any work which in the judgment of the Company is necessary to place the Roadway and appurtenances in such condition as will not menace, endanger or interfere with the Company's facilities or operations or jeopardize the Company's employees; and the County shall reimburse the Company for all actual costs incurred by the Company.

C. In the event Company's railroad operations cause damage to the Roadway, the State shall make the repairs necessary to restore the Roadway substantially to their former condition as soon as possible and the Company agrees to reimburse the County for the Railroad's pro rata share of actual costs incurred by the County based upon a joint Company and County determination of relative liability involving such incident.

D. The Company shall not erect, nor grant permission to others to erect, any advertising signs on the Roadway, if not already in place at the time this Agreement is executed.

E. The Company, at its expense, will maintain, repair and renew, or cause to be maintained, repaired and renewed the railroad facilities owned by the Company.

ARTICLE 19 - RETENTION OF RECORDS; AUDITING

A. The Company shall keep for a period of three (3) years from the date of final payment accurate and detailed account of actual costs as incurred by the Company, or for its account, in the performance of Project work and shall make such records available for State's audit during the Company's regular business hours at the Company's Headquarters office located in Omaha, Nebraska. The State will make every effort to complete the audit within three (3) years from the latter date of either the date the State's Contractor is released from the Project and the State provides a notification of such release date, or the receipt of the Company's Final Billing for all force account work performed under this Agreement.

B. Notwithstanding the provisions of Article 7, if State, has any audit exceptions involving the billing submitted by the Company, the Company will follow the rebuttal process and forward disputed audit exceptions first to External Audits and then to the administrator of the contract. If when doing so, it is determined by the State that the Company is to reimburse the State for any payment already made by the State or that any billing made by the Company was not eligible for reimbursement, the Company shall make such reimbursement to the State within forty five (45) days after such determination has been made.

ARTICLE 20 - RIGHT OF WAY ACCESS

A. In order to fulfill its maintenance obligation and subject to the provisions of this Article 20, the State shall have access to the Project within the Project Area for the performance of inspections, repair, maintenance and renewals, subject to the terms of this Agreement and the Developmental Specifications. The Company's Manager of Track Maintenance, Ryan Collins at Des Moines, Iowa, Phone Number (402) 317-4900, Email rkcollin@up.com, shall be notified in writing at least forty-eight (48) hours in advance whenever such activities are performed and within thirty (30) days if any activity is anticipated to occur within twenty-five feet (25') of any Company track.

B. Prior to any entry upon any portion of the Project Area, the State shall also require its Contractor to indemnify the Company when performing any such work and to also obtain and provide to the Company the Company's then current insurance policies, binders, certificates and endorsements that the Company then requires contractors to obtain when entering upon any Company property.

C. Future projects involving substantial maintenance, repair, reconstruction, renewal and/or demolition of the Roadway shall not commence until the Company and the County agree on the final plans for such future projects, cost allocations, temporary construction rights and provisions providing for the protection of railroad interests to be provided to the County's Contractor and other construction terms and conditions.

ARTICLE 21 - CANCELLATION

In the event that delays or difficulties arise in securing local approval, or in acquiring rights-of-way, or in settling damages or damage claims, or for any other cause which in the opinion of the State render it impracticable to proceed with the Project, then at any time before a construction contract is executed or actual construction is started, the State may serve formal notice of cancellation upon the Company and this Agreement shall thereupon become null and void, and State shall reimburse Company for all costs and expenses incurred under the Project prior to such cancellation.

ARTICLE 22 - ASSIGNMENT

This Agreement shall not be assigned by either party hereto without the written consent of the other party. Subject hereto, this Agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

ARTICLE 23 - EFFECTIVE DATE AND TERM

This Agreement shall become effective as of the last date of execution of the parties, or the date work commences on the Project, whichever is earlier, and shall continue in full force and effect until terminated by mutual agreement.

ARTICLE 24 - SEVERABILITY

In the event any provision of this Agreement is held to be unenforceable or invalid for any reason, the enforceability thereof shall not affect the remainder of this Agreement. The remainder of the Agreement shall be construed as if not containing the particular provision and shall continue in full force, effect and enforceability in accordance with its terms.

ARTICLE 25 - APPLICABLE LAW-COMPLIANCE

A. This Agreement is made under, and shall be construed according to the laws of the State of Iowa, unless such laws are otherwise preempted by applicable Federal statutes, rules or regulations.

B. The State, Company and County shall comply with all applicable federal, state and local laws, regulations and enactments affecting this Agreement, to include but not limited to Code of Federal Regulations (CFR), Title 23, parts 140, 172, 646 and 655 and revisions thereto.

C. All portions of the Project, whether performed by the State or Company, shall be performed in compliance with 23 CFR 635.410 and 23 USC 313 as amended by Section 1518 of P.L. 112-141 Buy America Requirements. Company shall maintain documentation / certification of all products of iron, steel, or a coating of steel that are incorporated into the Project for a period of three (3) years after completion of all obligations under this Agreement. Within a reasonable time after State's written request, Company shall make such records available for State's audit during Company's regular business hours in Company's Headquarters office located in Omaha.

ARTICLE 26 - PREVIOUS AGREEMENTS

The provisions of this Agreement supersede the provisions of the Original Agreement or any other agreement with respect to the use, maintenance and repair of the Roadway. In the event of any inconsistency between the terms of the Original Agreement and the terms of this Agreement with respect to construction, maintenance, operation, use, repair or replacement of the Roadway, this Agreement will prevail.

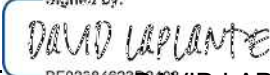
ARTICLE 27 - MODIFICATION - ENTIRE AGREEMENT

No waiver, modification or amendment of this Agreement shall be of any force or effect unless made in writing, signed by the State, Company and the County specifying with particularity the nature and extent of such waiver, modification or amendment. Any waiver by the Company of any default by the State shall not affect or impair any right arising from any subsequent default. This Agreement and Exhibits attached hereto and made a part hereof constitute the entire understanding between the State, Company and County and cancel and supersede any prior negotiations, understandings or Agreements, including the Original Agreement, whether written or oral, with respect to the Project and the work or any part thereof.

(Remainder of page intentionally left blank.)

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed in DUPLICATE as of the date first herein written.

**UNION PACIFIC RAILROAD COMPANY,
a Delaware corporation**

By:  Signed by:
Printed Name: DAVID LAPLANTE
Title: Director-Real Estate
Dated this 10/31/2025 day of _____, 2025.

WOODBURY COUNTY, IOWA

By: _____
Printed Name: _____
Title: _____
Dated this _____ day of _____, 2025

**IOWA DEPARTMENT OF TRANSPORTATION,
a political subdivision of the State of Iowa
acting by and through its District Engineer,
Highway Division**

By: _____
Printed Name: _____
Title: _____
Dated this _____ day of _____, 2025.

EXHIBIT A

100% Complete New Structure Plan Set

PCC PAVEMENT - GRADE AND NEW
IMN-029-6(170)139--0E-97

WOODBURY COUNTY

LETTING DATE
Jan 21 2026

INDEX OF SHEETS	
No.	DESCRIPTION
A Sheets	Title Sheets
* A.1	Title Sheet
* A.2	Location Map
A.3 - A.4	Design Crlterla
B Sheets	Typical Cross Sections and Details
B.1 - B.4	Typical Cross Sections and Details
HE Sheets	Right of Way Sheets
* HE.1	235th Street / Old US 75 Right of Way
J Sheets	Traffic Control and Staging Sheets
J.1 - J.4	Traffic Control Plan, Staging Notes and Tabulations
* J.5	Traffic Control & Staging Legend, Symbol Info. Sheet
* J.6 - J.8	Staging & Traffic Control Sheets
N Sheets	Traffic Signal and Signing Sheets
* N.1 - N3	Traffic Signal General Notes and Signal Plan
N.4	Traffic Phasing
U Sheets	Modified Standards and Detail Sheets
* U.1	Plan & Profile Legend, Symbol Info. Sheet
* U.2 - U.9	UPRR Crossing Details
VX Sheets	Culvert Situation Plans
* VX.1	235th Street Culvert
X Sheets	Side Road Cross Sections
* X.1 - X.3	235th Street Cross Sections
* X.4 - X.15	Old US 75 Cross Sections
	* Color Plan Sheets

For Project Location Map
Refer to Sheet No. A.2



235th St. (E. of I-29)		
DESIGN DATA RURAL		
2025	AADT	51 V.P.D.
2050	AADT	1470 V.P.D.
20	- DHV	- V.P.H.
TRUCKS		13.0% %
Total		
Design ESALs		-

Old US 75		
DESIGN DATA RURAL		
2025	AADT	1586 V.P.D.
2050	AADT	2030 V.P.D.
20	- DHV	-- V.P.H.
TRUCKS		8.8% %
Total		
Design ESALs		--



WOODBURY COUNTY

PCC PAVEMENT - GRADE AND NEW

I-29 / 235TH STREET (SOUTHBRIDGE) INTERCHANGE
Approx. 2.5 mi S of the Co Rd D38 Interchange at Sergeant Bluff

SCALES: As Noted

Refer to the Proposal Form for list of applicable specifications.

Value Engineering Saves, Refer to Article 1105.14 of the Specifications.



REVISIONS

TOTAL	
46	
PROJECT IDENTIFICATION NUMBER	
06-97-029-010	
PROJECT NUMBER	
IMN-029-6(170)139--0E-97	
R.O.W. PROJECT NUMBER	
IMN-029-6(318)139--0E-97	

THE RAILROAD SIGNAL CIRCUITS AND FINAL DESIGN LOCATION
WERE NOT DESIGNED BY THE UNDERSIGNED ENGINEER. SEE N SHEETS.

ROADWAY DESIGN

I hereby certify that this plan was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature _____ Date _____

Printed or Typed Name Stephanie Hemberger

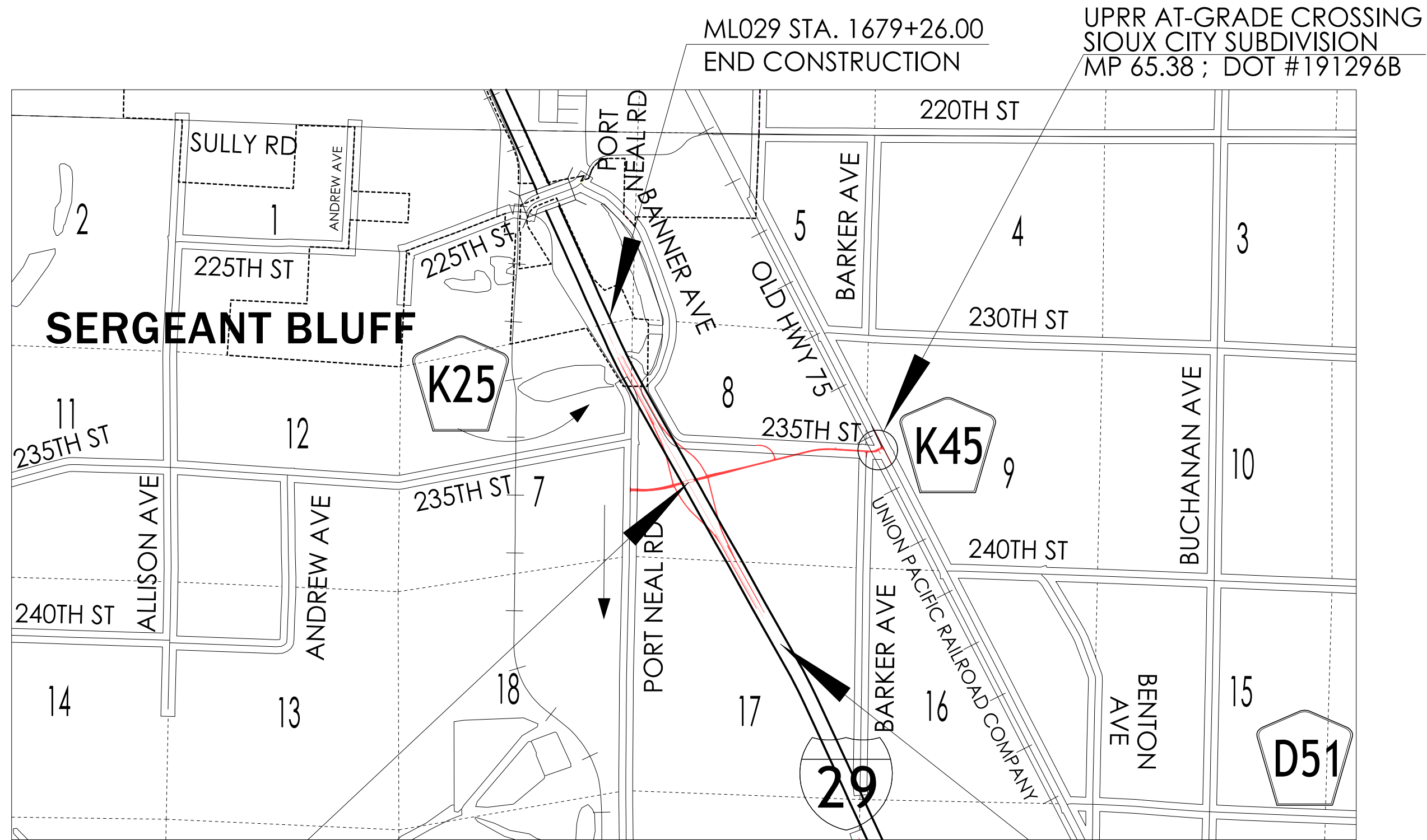
My license renewal date is December 31, 2026

Pages or sheets covered by this seal: A.1-4, B.1-4, J.1-8, U.1-9, X.1-15

UPRR FINAL
PLAN SUBMITTAL

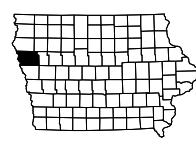
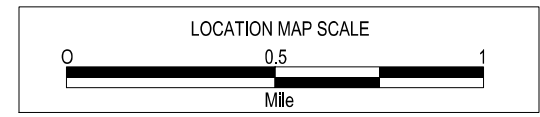
Revised Date: 10/24/2025

INDEX OF SEALS		
SHEET NO.	NAME	TYPE
A.1	Stephanie Hemberger	Primary Signature Block
N.1	Levi Dermyer	Traffic Signal Design
N.4	Joe Blasi	Traffic Signal Phasing
VX.1	Heidi Lane	Drainage Design



BRIDGE
235th St
Sta. 5013+74.10
FHWA #701220 (NEW)

ML029 STA. 1596+32.00
BEGIN CONSTRUCTION



Roadway	235th Street			
PIN Number	06-97-029-010	Submittal Date	8/18/2023	
Project Number	IMN-029-6(170)139--0E-97	Revision Date	6/30/2025	
District	District 3			
County	Woodbury			
Route	I-29			
Location	New I-29 Interchange approximately 2.5 mi S of the Co Rd D-38 Interchange at Sergeant Bluff			
Work Type	PCC Pavement - Grade and New			
Segment Manager				
Designer	HNTB			
Design year ADT =	4490 (W. of I-29), 1470 (E. of I-29)			
Design Manual Section 1C-1 Last Updated: 04-29-19	Secondary Roads			
Design Elements		Project value	Local Systems I.M. 3.210 value	Remarks
Design speed (mph)		55	60	
Design lane width (ft.)		12	12 (24' Traveled Way)	
Shoulder width (ft.)		8	8	
Bridge width - new (ft.)		See Remarks	40	See I-29 for Bridge
Bridge width - existing (ft.)		N/A	N/A	
Maximum super elevation rate (%)		6	8	
Minimum radius (ft.)		1060	1200	
Stopping sight distance (ft.)		495	570	
Vertical curve length (ft.)		165	-	
Minimum rate of vertical curvature (K)	Crest	114	151	
	Sag	115	136	
Minimum gradient (%)		0.4	-	
Maximum gradient (%)		5	5	
Foreslope		3.5:1 (6:1 in Clear Zone)	4:1	
Backslope		3:1	-	
Traverse slopes				
Clearzone		22	30	

Notes:

[illegible]

Roadway	Old US 75		
PIN Number	06-97-029-010	Submittal Date	8/18/2023
Project Number	IMN-029-6(170)139--0E-97	Revision Date	6/30/2025
District	District 3		
County	Woodbury		
Route	I-29		
Location	New I-29 Interchange approximately 2.5 mi S of the Co Rd D-38 Interchange at Sergeant Bluff		
Work Type	PCC Pavement - Grade and New		
Segment Manager			
Designer	HNTB		
Design year ADT =	2030		

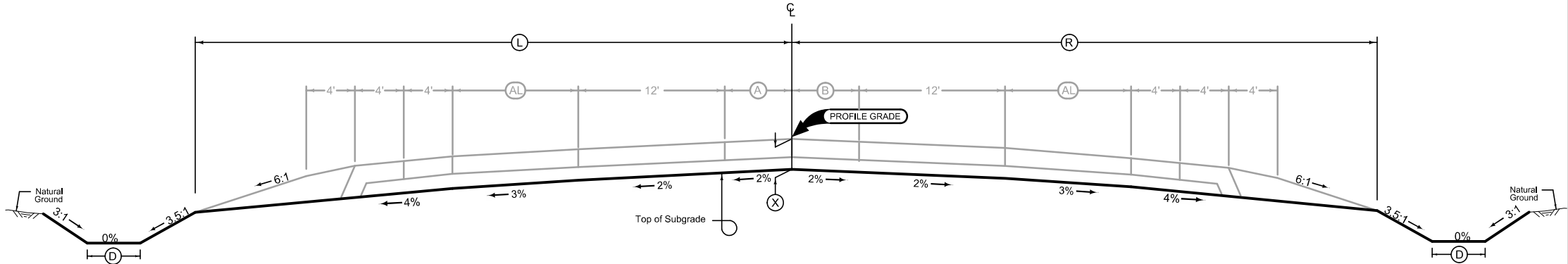
Secondary Roads

Design Elements		Project value	Local Systems I.M. 3.210 value	Remarks
Design speed (mph)		50	60	
Design lane width (ft.)		11	12' (24' Traveled Way)	
Shoulder width (ft.)		4	8	
Bridge width - new (ft.)		N/A	N/A	
Bridge width - existing (ft.)		N/A	N/A	
Maximum super elevation rate (%)		N/A	N/A	
Minimum radius (ft.)		N/A	N/A	
Stopping sight distance (ft.)		425	570	
Vertical curve length (ft.)		150	-	
Minimum rate of vertical curvature (K)	Crest	84	151	
	Sag	96	136	
Minimum gradient (%)		0.3	-	
Maximum gradient (%)		5	5	
Foreslope		3:1	4:1	
Backslope		3:1	3:1	
Traverse slopes				
Clearzone		16	30	

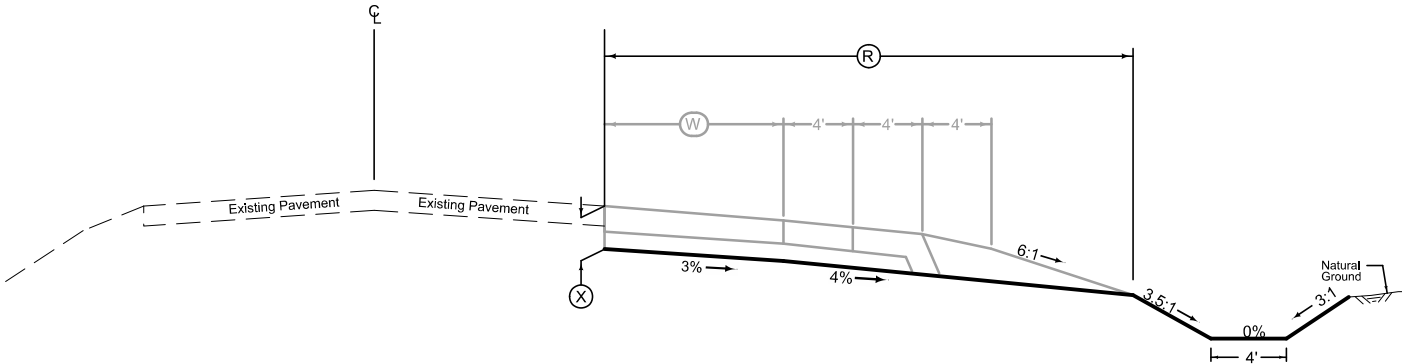
Notes:

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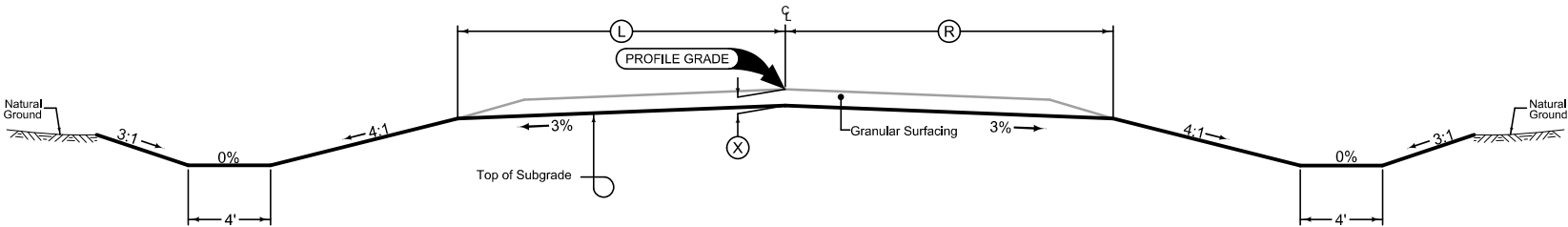
LOCATION			DIMENSIONS			
ROAD IDENTIFICATION	STATION TO STATION		<div><div>Ⓐ</div><div>Feet</div></div>	<div><div>Ⓑ</div><div>Feet</div></div>	<div><div>Ⓒ</div><div>Inches</div></div>	<div><div>Ⓓ</div><div>Feet</div></div>
235th Street	5000+62.00	5001+77.00	41	38	15.5	4
235th Street	5001+77.00	5002+72.41	41-38	38	15.5	4
235th Street	5002+72.41	5006+28.05	38-41	38	15.5	4-10
235th Street	5006+28.05	5008+08.11	41	38-50	15.5	10
235th Street	5008+08.11	5010+10.82	41	50	15.5	10
235th Street	5010+10.82	5012+54.99	43	45	21.5	0
235th Street	5014+93.20	5018+23.82	45	43	21.5	0
235th Street	5018+23.82	5020+18.40	52	40	15.5	10
235th Street	5020+18.40	5021+98.40	52-40	40	15.5	10
235th Street	5021+98.40	5027+38.40	40-32	40-32	15.5	10-4
235th Street	5027+38.40	5056+20.15	32	32	15.5	4
235th Street	5056+20.15	5057+26.58	32-40	32-41	15.5	4
235th Street	5057+26.58	5058+36.00	40	41	15.5	4-0
235th Street	5058+36.00	5058+41.59	40	41	15.0	0



LOCATION			DIMENSIONS	
ROAD IDENTIFICATION	STATION TO STATION		<div><div>Ⓑ</div><div>Feet</div></div>	<div><div>Ⓒ</div><div>Inches</div></div>
Port Neal Road	6015+72.77	6017+07.91	29-11	15.5



LOCATION			DIMENSIONS		
ROAD IDENTIFICATION	STATION TO STATION		<div><div>Ⓐ</div><div>Feet</div></div>	<div><div>Ⓑ</div><div>Feet</div></div>	<div><div>Ⓒ</div><div>Inches</div></div>
Banner Avenue	8000+74.10	8006+62.00	16	16	6
Barker Avenue	9001+85.00	9002+41.69	19	19	6

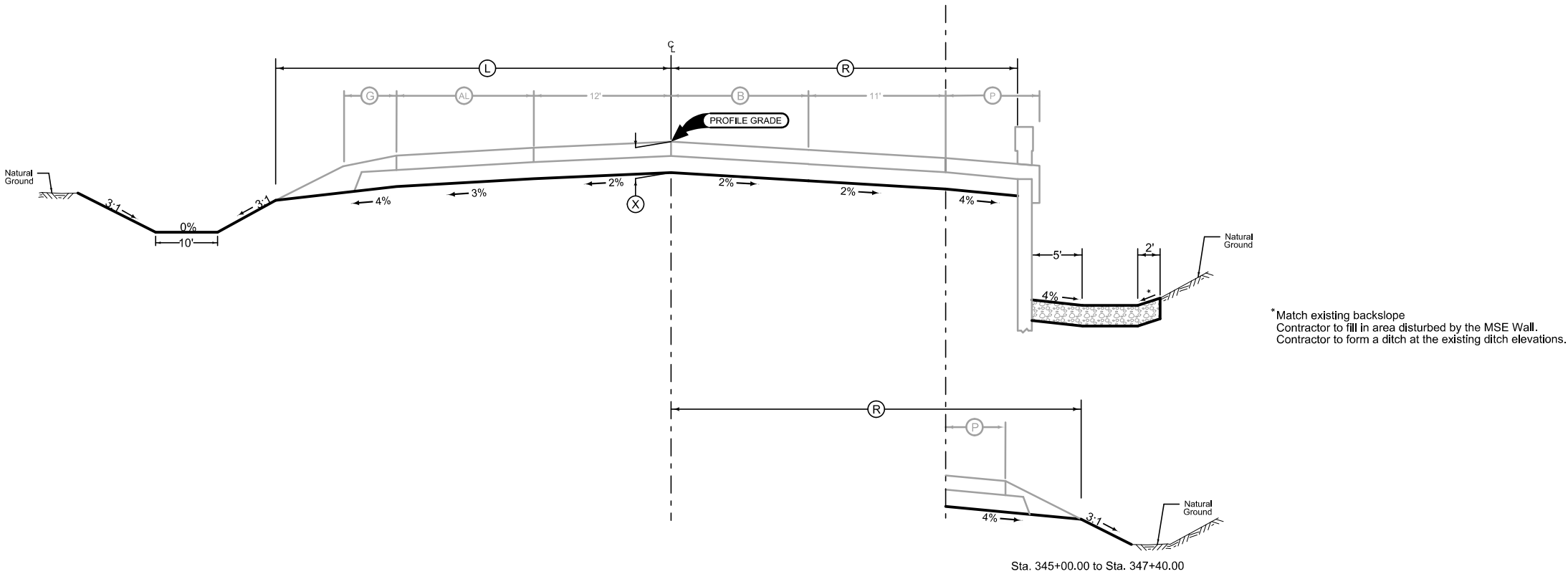


Normal section shown may be modified appropriately in areas of superelevated curves or other locations specifically designated by the Engineer.

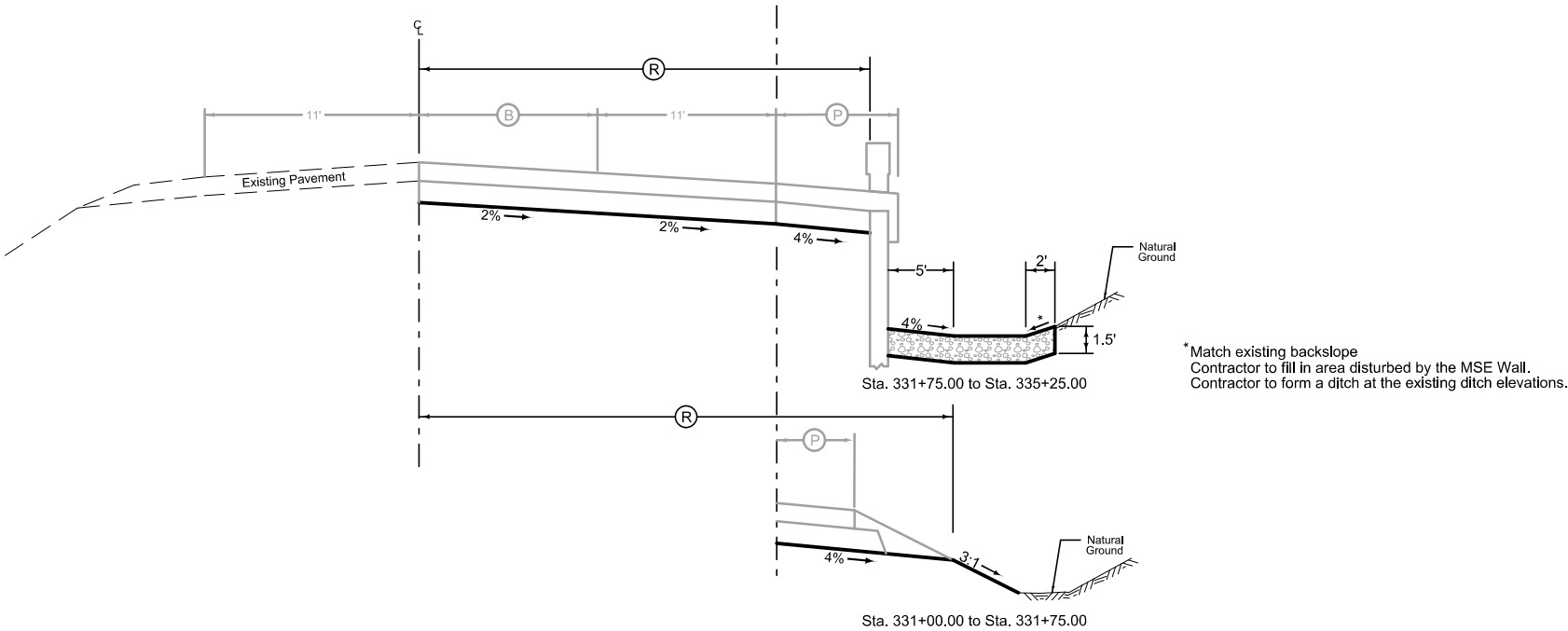
See plan & profile sheets and cross sections for additional details of ditches and backslopes.

SIDEROAD GRADING

LOCATION			DIMENSIONS		
ROAD IDENTIFICATION	STATION TO STATION		<div>Ⓐ</div> <div>Feet</div>	<div>Ⓑ</div> <div>Feet</div>	<div>ⓧ</div> <div>Inches</div>
Old US 75	335+25.00	337+00.00	19-21	24.3-27.8	15
Old US 75	337+00.00	340+70.00	21-31	27.8	15
Old US 75	340+70.00	345+00.00	31	27.8-19.2	15
Old US 75	345+00.00	345+60.00	31	24.3-23.2	15
Old US 75	345+60.00	346+20.00	31-27	23.2-25.6	15
Old US 75	346+20.00	347+40.00	27-19	25.6-27.6	15



LOCATION			DIMENSIONS	
ROAD IDENTIFICATION	STATION TO STATION		<div>Ⓑ</div> <div>Feet</div>	<div>ⓧ</div> <div>Inches</div>
Old US 75	331+00.00	332+00.00	21.1-18.3	15
Old US 75	332+00.00	335+25.00	18.3-24.8	15



Normal section shown may be modified appropriately in areas of superelevated curves or other locations specifically designated by the Engineer.

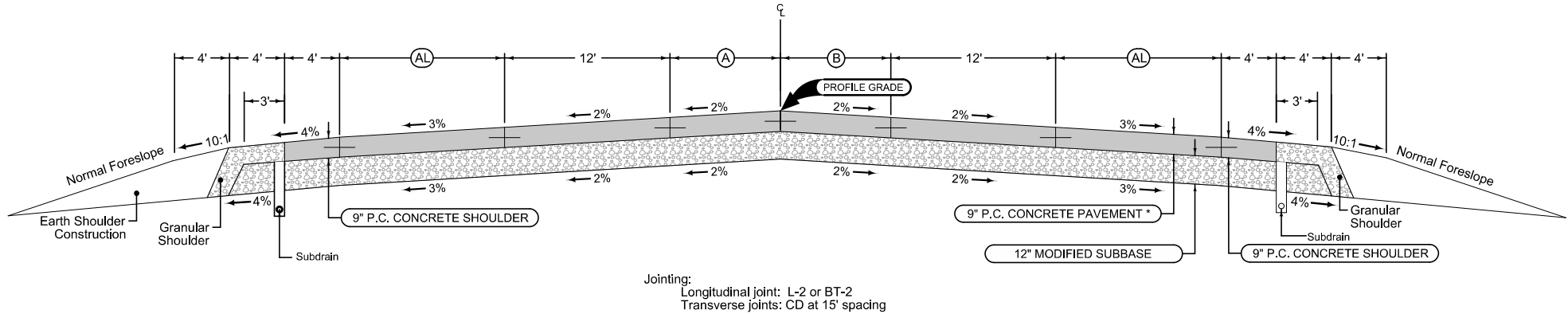
See plan & profile sheets and cross sections for additional details of ditches and backslopes.

SIDEROAD GRADING
OLD US 75

PCC Auxiliary Lane And Shoulder

Shoulder Jointing:
Longitudinal joint: L-2 or BT-2
Transverse joints: CD, Match Ramp

ROAD IDENTIFICATION	BEGIN STATION	END STATION	Ⓐ Feet
235th Street	5000+16.07	5001+77.00	12
235th Street	5001+77.00	5002+72.41	12-0
235th Street	5002+72.41	5009+60.00	0
235th Street	5018+75.00	5020+18.40	12
235th Street	5020+18.40	5021+98.40	12-0
235th Street	5021+98.40	5058+91.57	0



Jointing:
Longitudinal joint: L-2 or BT-2
Transverse joints: CD at 15' spacing

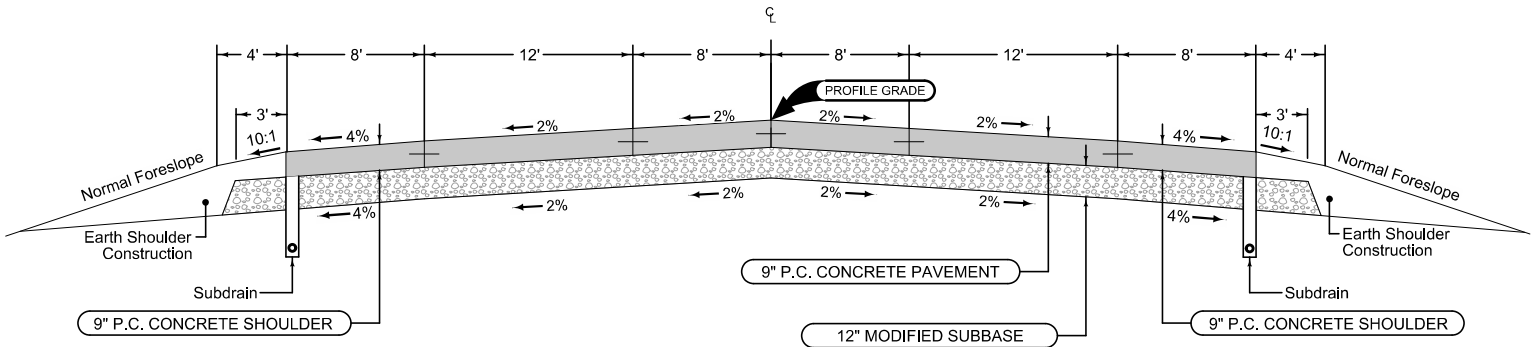
STATION TO STATION		Ⓐ Feet	Ⓑ Feet
5000+16.07	5001+77.00	12	8
5001+77.00	5002+72.41	12-8	8
5002+72.41	5009+60.00	8	8
5018+75.00	5022+98.40	8	8
5022+98.40	5027+38.40	8-0	8-0
5027+38.40	5056+20.15	0	0
5056+20.15	5057+26.60	0-4	0
5057+26.60	5058+91.57	4	0

*Note: The area east of the UPRR (Sta. 5058+36.00 to 5058+41.59), use 9" P.C. CONCRETE PAVEMENT to match the Old US 75 pavement section.

PCC Auxiliary Lane And Shoulder

PCC Shoulder Jointing:
Longitudinal joint: L-2 or BT-2
Transverse joints: CD, Match Ramp

ROAD IDENTIFICATION	BEGIN STATION	END STATION	Ⓐ Feet
235th Street	5000+16.07	5006+28.05	0
235th Street	5006+28.05	5008+08.11	0-12
235th Street	5008+08.11	5009+60.00	12
235th Street	5018+75.00	5056+00.00	0
235th Street	5056+00.00	5057+20.00	0-12
235th Street	5057+20.00	5058+91.57	12



Jointing:
Longitudinal joint: L-2 or BT-2
Transverse joints: CD at 15' spacing

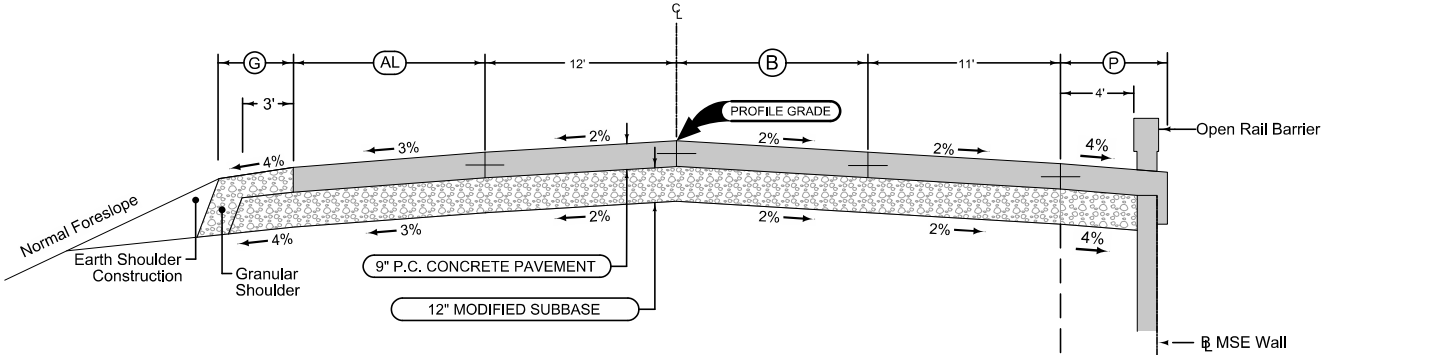
STATION TO STATION	
5009+60.00	5012+56.55
5014+91.65	5018+75.00

SIDEROAD PAVING
235TH STREET

Auxiliary Lane
with Granular Shoulder

Jointing:
Transverse joints: CD, Match Mainline.
Longitudinal joints: L-2 or BT-2

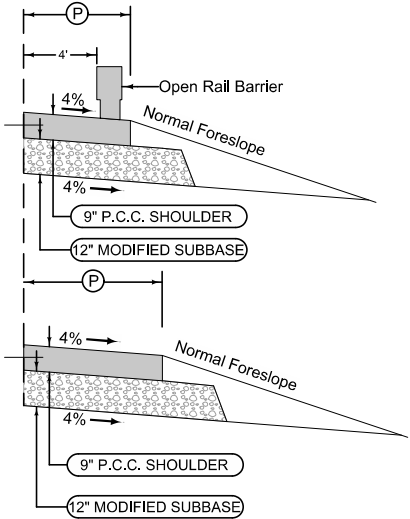
STATION TO STATION		Ⓐ Feet	Ⓒ Feet
335+25.00	340+23.57	0	4
340+23.57	345+60.00	12	4
345+60.00	347+40.00	12-0	4



Section shown in the direction of stationing.

Jointing:
Transverse joints: CD at 15' spacing.
Longitudinal joints: L-2 or BT-2

ROAD IDENTIFICATION	BEGIN STATION	END STATION	Ⓑ Feet
Old US 75	335+25.00	337+00.00	8.5-12
Old US 75	337+00.00	340+70.00	12
Old US 75	340+70.00	346+70.00	12-0
Old US 75	346+70.00	347+40.00	0



Full Depth Reinforced PCC Shoulder

Jointing:
Transverse joints: CD, Match Mainline.
Longitudinal joints: L-2 or BT-2

STATION TO STATION		Ⓟ Feet
335+25.00	345+00.00	5.8

Full Depth Reinforced PCC Shoulder

Jointing:
Transverse joints: CD, Match Mainline.
Longitudinal joints: L-2 or BT-2

STATION TO STATION		Ⓟ Feet
345+00.00	345+70.04	5.8
345+70.04	346+20.00	5.8-6.8

Full Depth PCC Shoulder

Jointing:
Transverse joints: CD, Match Mainline.
Longitudinal joints: L-2 or BT-2

STATION TO STATION		Ⓟ Feet
346+20.00	346+77.55	6.4
346+77.55	347+20.15	6.4-8.1
347+20.15	347+40.00	8.1

Full Depth Reinforced
PCC Shoulder

Jointing:
Transverse joints: CD, Match Mainline
Longitudinal joints: L-2 or BT-2

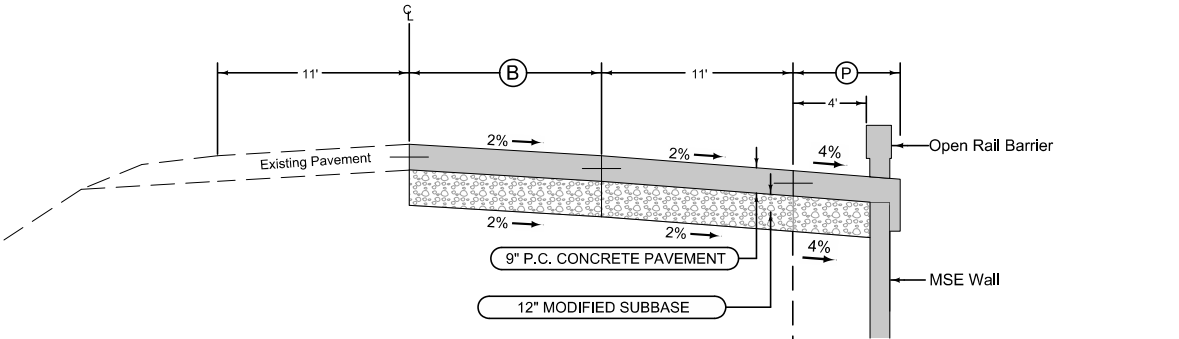
STATION TO STATION		Ⓟ Feet
331+75.00	332+00.00	6.2-5.8
332+00.00	335+25.00	5.8

Full Depth PCC Shoulder

Jointing:
Transverse joints: CD, Match Mainline
Longitudinal joints: L-2 or BT-2

STATION TO STATION		Ⓟ Feet
331+00.00	331+50.00	7
331+50.00	331+75.00	7-6.2

SIDEROAD PAVING
OLD US 75



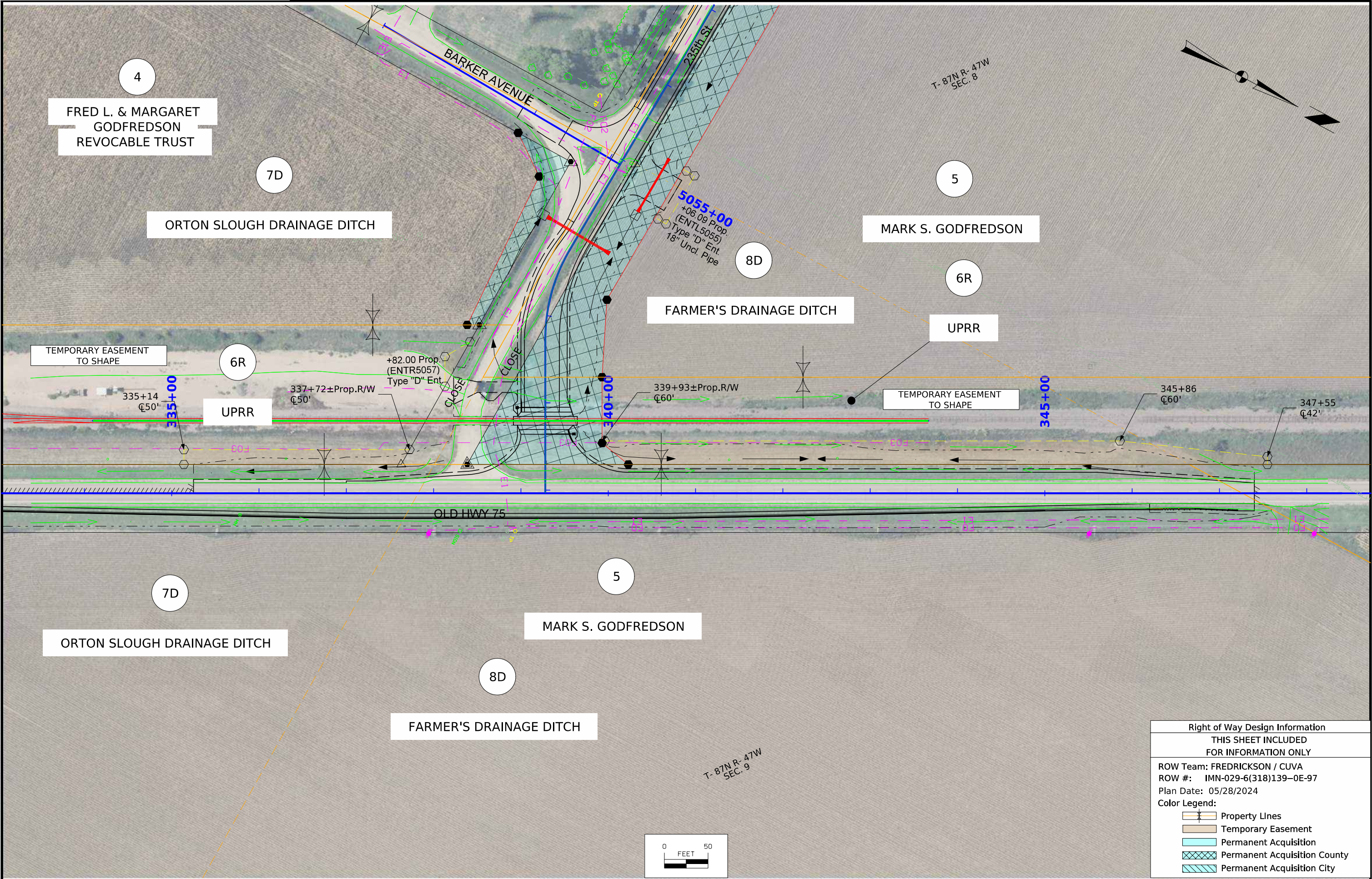
Section shown in the direction of stationing.

Jointing:
Transverse joints: CD at 15' spacing.
Longitudinal joints:
Centerline: BT-3
NB Lane: L-2 or BT-2

ROAD IDENTIFICATION	BEGIN STATION	END STATION	Ⓑ Feet
Old US 75	331+00.00	335+25.00	0-8.5

For open barrier rail and reinforced shoulder details, see U Sheets.

For US 75 pavement markings, dimensioning and striping, see J Sheets.



Right of Way Design Information	
THIS SHEET INCLUDED	
FOR INFORMATION ONLY	
ROW Team: FREDRICKSON / CUVA	
ROW #: IMN-029-6(318)139--0E-97	
Plan Date: 05/28/2024	
Color Legend:	
	Property Lines
	Temporary Easement
	Permanent Acquisition
	Permanent Acquisition County
	Permanent Acquisition City

FILE NO.	ENGLISH	DESIGN TEAM Iowa DOT / HNTB	WOODBURY COUNTY	PROJECT NUMBER IMN-029-6(170)139--0E-97	SHEET NUMBER HE.1
----------	---------	------------------------------------	-----------------	--	--------------------------

TRAFFIC CONTROL PLAN		108_23A 8/15/22
Traffic control for this project shall be in accordance with Iowa DOT Standard Road Plans and the following J Sheets. For additional information, refer to Part 6 of the Manual on Uniform Traffic Control Devices, Iowa DOT Standard Road Plan TC Series and the current Standard Specifications.		
Interstate 29: Maintain traffic on NB and SB I-29 at all times in accordance with J Sheets. Single lane closures will be permitted as necessary to remove rumble strips and set TBR. Overnight rolling road blocks will be required for NB and SB I-29 for setting bridge girders.		
There are no lane closure restrictions for I-29 construction. All lane closures shall be submitted and approved a minimum of 14 days prior to the traffic control change.		
Sideroads: Portions of 235th Street, Old US 75, Banner Avenue and Barker Avenue will have closures at varying times. Access to Barker Avenue will be provided at all times. The Contractor shall coordinate closures with Woodbury County a minimum of 14 days in advance of closure. Woodbury County will install, furnish, maintain, and remove detour signing.		
Refer to Tab. 108-26A for Staging Notes.		
I-29 mainline posted speed limit through the work zone shall be 60 mph. Remove or cover all existing signs in conflict with 60 mph while the 60 mph speed limit is in effect.		
Use Portable Dynamic Message Signs (PDMS) in conjunction with traffic control and detour signage. Contractor shall provide PDMS and messages. Locations and messages shall be coordinated with the Traffic Management Center and Engineer.		
Temporary signing and PDMS shall be used for NB and SB I-29 traffic to provide advanced notice for 60 days prior to closing the NB and SB I-29 rest areas.		
PDMS shall be used 14 days prior to closing Old US 75.		

511 TRAVEL RESTRICTIONS													108_25 3/28/24
Line No.	Route	Direction	County	Location Description	Feature Crossed	Object Type	Maint. Bridge No. or Structure ID or FHWA No.	Type of Restriction	Existing Measurement	Construction Measurement	Construction Measurement as Signed	Projected As Built Measurement	Remarks
				None Provided				None					

108_26A 8/15/22				
STAGING NOTES				
<p>Stage 1:</p> <p>Traffic:</p> <p>Interstate 29: Maintain traffic on I-29 at all times in accordance with J Sheets. Single lane closures will be permitted as necessary to complete inside shoulder rumble strip patching and set TBR in accordance with Standard Road Plan TC-418. Portable Dynamic Message Signs (PDMS) shall be provided 14 days in advance of upcoming traffic shift.</p> <p>Sideroads: Maintain traffic along existing 235th Street from Old US 75 to Barker Avenue in accordance with J Sheets.</p> <p>Provide contractor schedule to Union Pacific Railroad (UPRR) for 235th Street rail crossing install; coordinate early on crew availability for surface and signal work per staging. Contractor to provide 4-week lookahead schedules to railroad engineer on a regular recurrence as agreed to between Contractor and UPRR.</p> <p>Rest Areas: Maintain both northbound and southbound I-29 rest areas during this stage.</p> <p>Construction:</p> <p>Interstate 29: Construct I-29 median shoulder rumble strip patching in order to shift traffic in Stage 2B. Construct grading for Ramps A, B, C, and D as shown on the J Sheets.</p> <p>Construct grading for the ramps. See Sheet CS.7 for paving delay holding times.</p> <p>Construct the abutments and median pier for the 235th Street bridge.</p> <p>Sideroads: Construct grading for 235th Street between Port Neal Road and Barker Avenue, including new 235th Street bridge substructure.</p> <p>Stage 2A:</p> <p>Traffic:</p> <p>Interstate 29: Maintain I-29 traffic as shown in the J Sheets. During girder setting over I-29, utilize rolling road blocks between the hours of 2:00AM and 5:00AM with DMS warning messages set in advance of the anticipated queue.</p> <p>Sideroads: Fully close Old US 75 to all traffic south of 230th Street and north of 240th Street. Provide messaging via PDMS to warn of upcoming closure. Coordinate with Woodbury County to provide detour.</p> <p>Close 235th Street east of Barker Avenue.</p> <p>Rest Areas: Maintain both northbound and southbound I-29 rest areas during this stage.</p> <p>Construction:</p> <p>Interstate 29: Pave Ramps A, B, C, and D as shown on the J Sheets.</p> <p>Sideroads: Construct MSE wall, reinforced shoulder, open barrier rail, pavement and traffic signals on Old US 75. Pave 235th Street between Port Neal Road and Banner Avenue to the limits shown in J Sheets.</p> <p>Construct 235th Street between Old US 75 and Barker Avenue. Coordinate with UPRR for rail crossing. See U Sheets.</p> <p>Complete new 235th Street bridge at I-29 and approach pavement.</p> <p>Stage 2B:</p> <p>Traffic:</p> <p>Interstate 29: Shift northbound and southbound traffic to the median as shown in the J Sheets.</p> <p>Sideroads:</p> <p>Close 235th Street to all traffic between Banner Avenue and Barker Avenue. Implement partial road closure at intersections of Banner Avenue and Port Neal Road per Standard Road Plan TC-252. Implement full road closure at last driveway before the work area on Banner Avenue per Standard Road Plan TC-252. Coordinate with UPRR to open new rail crossing and open Old US 75 to all traffic. Maintain access to Barker Avenue via Old US 75 and 235th Street east of Barker Avenue.</p> <p>Rest Areas: Close both northbound and southbound I-29 rest areas in coordination with Project IMN-029-6(311)139--0E-97 and Project IMN-029-6(313)139--0E-97. Provide messaging via PDMS to warn of the closures.</p> <p>PDMS shall be in place 60 days in advance of the rest area closures on both the north and south sides of the project.</p> <p>Construction:</p> <p>Interstate 29: Construct ramp gores and acceleration and deceleration lanes along the outside of northbound and southbound I-29.</p> <p>Sideroads: Remove existing 235th Street roadbed between Barker Avenue and Old US 75, and between east of Banner Avenue and new 235th Street. Grade and Pave 235th Street between Banner Avenue and Barker Avenue.</p> <p>Final:</p> <p>Traffic: Open all roads to all traffic.</p> <p>Set up pavement marking operations utilizing Standard Road Plan TC-433.</p> <p>Set up rumble strip operations in accordance with Standard Road Plan TC-432.</p> <p>Construction: Complete final grading at the 235th Street intersection with Barker Avenue. Complete final pavement markings and mill rumble strips.</p>				
FILE NO.	ENGLISH	DESIGN TEAM	HNTB	
WOODBURY COUNTY		PROJECT NUMBER	IMN-029-6(170)139--0E-97	SHEET NUMBER J.3

<div>111_01 10/14/22</div> <div>COORDINATED OPERATIONS</div> <div>Other work in progress during the same period of time will include the construction of the projects listed. Coordinate operations with those of other contractors working within the same area.</div>	
Project	Type of Work
None	

CROSS SECTION VIEW COLOR LEGEND OF TRAFFIC CONTROL AND STAGING SHEETS			
SHADING	Design Color No.		
Green, Light	(225)	<div></div>	Existing Pavement Shading
Gray, Light	(48)	<div></div>	Previously Constructed Pavement Shading
Gray, Med	(80)	<div></div>	Previously Constructed Granular Surface Shading
Blue, Light	(230)	<div></div>	Proposed Pavement Shading
Lavender	(9)	<div></div>	Temporary Pavement Shading
Brown, Med	(237)	<div></div>	Future Proposed Pavement Shading

CROSS SECTION VIEW PATTERN AND SYMBOL LEGEND OF TRAFFIC CONTROL AND STAGING SHEETS			
<div></div>	Pavement Removal	<div></div>	Proposed Granular Shoulder
<div></div>	Proposed Granular Subbase	<div></div>	Temporary Shoulder
<div></div>	Proposed Special Backfill	<div></div>	Existing Shoulder Strengthening
<div></div>	Temporary Barrier Rail	<div></div>	Permanent Barrier Rail
<div></div>	Lane Open To Traffic	<div></div>	Channelizing Device

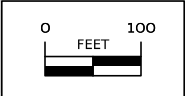
PLAN VIEW COLOR LEGEND OF TRAFFIC CONTROL AND STAGING SHEETS			
LINEWORK	Design Color No.		
Green	(2)	<div></div>	Existing Topographic Features and Labels
Magenta	(5)	<div></div>	Pavement Marking Call Outs
Blue	(1)	<div></div>	Proposed Alignment, Stationing, Tic Marks, and Alignment Annotation
Yellow	(4)	<div></div>	Pavement Markings, Yellow
Off White	(254)	<div></div>	Pavement Markings, White
Violet	(15)	<div></div>	Temporary barrier rail, Unpinned
Flush Orange	(228)	<div></div>	Temporary barrier rail, Pinned
SHADING	Design Color No.		
Green, Light	(225)	<div></div>	Existing Pavement Shading
Gray, Light	(48)	<div></div>	Previously Constructed Pavement Shading
Gray, Med	(80)	<div></div>	Proposed Granular Surface Shading
Gray, Med	(80)	<div></div>	Previously Constructed Granular Surface Shading
Blue, Light	(230)	<div></div>	Proposed Pavement Shading
Lavender	(9)	<div></div>	Temporary Pavement Shading
Brown, Light	(236)	<div></div>	Proposed Grading Limits Shading
Pink, Dark	(13)	<div></div>	Proposed MSE or CIP Wall Shading
Red	(3)	<div></div>	Proposed Bridge Shading and Sign Trusses
Black w/Gray, Light Fill	(0,48)	<div></div>	Previously Constructed Structure

PLAN VIEW PATTERN AND SYMBOL LEGEND OF TRAFFIC CONTROL AND STAGING SHEETS			
<div></div>	Channelizing Device	<div></div>	Crash Cushion (Temp or Perm)
<div></div>	Drum	<div></div>	Traffic Signal
<div></div>	Temporary Lane Separator	<div></div>	Flagger
<div></div>	Tubular Marker	<div></div>	Temporary Floodlighting
<div></div>	Channelizer Marker	<div></div>	Traffic Sign
<div></div>	Concrete Barrier Marker	<div></div>	Type III Barricade
<div></div>	Delineator	<div></div>	Type A Warning Light
<div></div>	Temporary Barrier Rail	<div></div>	Direction of Traffic
<div></div>	Pavement Removal	<div></div>	Safety Closure
<div></div>	Sand Barrel Layout	<div></div>	Lane Identification
<div></div>	Sawcut		

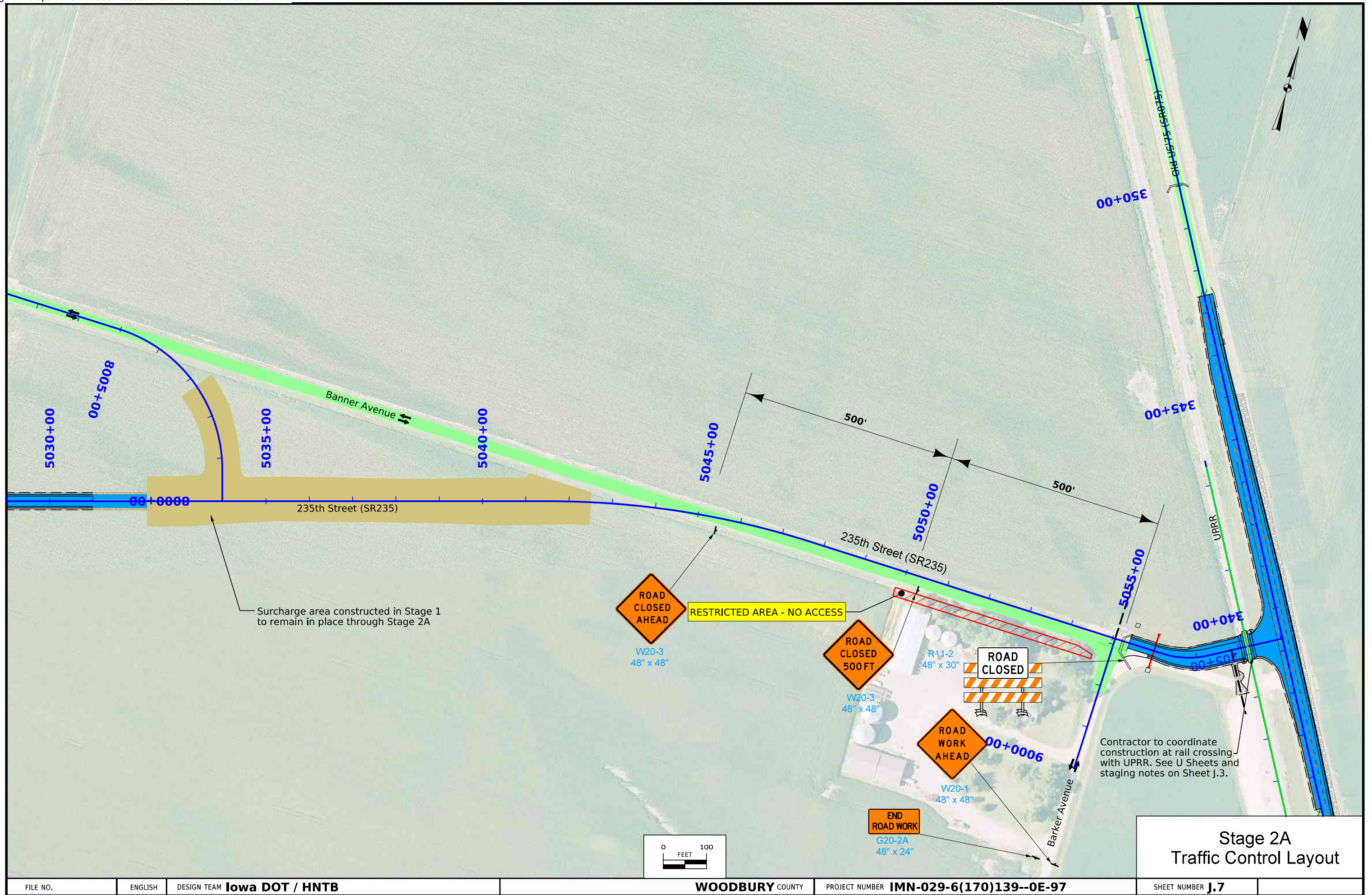
NOTE: Device spacing according to Standard Road Plans unless specifically dimensioned.

TRAFFIC CONTROL
AND
STAGING
LEGEND AND SYMBOL
INFORMATION SHEET

(COVERS SHEET SERIES J)



Stage 1
Traffic Control Layout



Stage 2A
Traffic Control Layout



TRAFFIC SIGNAL GENERAL NOTES

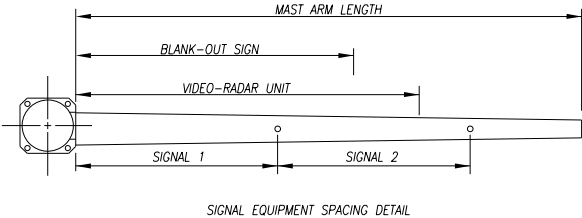
1. FURNISH AND INSTALL TRAFFIC SIGNALS AS SHOWN ON PLANS AND IN CONFORMANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
2. CONTRACTOR SHALL LOCATE ALL FOUNDATION, HANDHOLE, AND LOOP DETECTOR LOCATIONS PRIOR TO APPROVAL OF ENGINEER.
3. ADJUST SIGNAL HEADS AND VIDEO CAMERAS IN THE FIELD TO PROVIDE GREATEST VISIBILITY TO APPROACHING TRAFFIC.
4. COVER SIGNALS DURING CONSTRUCTION UNTIL ENTIRE INSTALLATION IS COMPLETE AND IN OPERATION.
5. LOCATION OF UNDERGROUND UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE INDICATED ON THE PLANS. NOTIFY UTILITIES PRIOR TO STARTING EXCAVATION. CONTACT THE FOLLOWING
IOWA ONE CALL800-292-8989
THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION ON THE PROJECT TO ESTABLISH LOCATIONS.
6. PROVIDE SIGNAL START UP AFTER PAVEMENT MARKINGS HAVE BEEN COMPLETED.
7. ALL QUANTITIES SHOWN IN THE TRAFFIC SIGNAL PLANS AND SPECIFICATIONS ARE FOR INFORMATION AND ESTIMATING PURPOSES ONLY. THE CONTRACTOR'S LUMP SUM BID FOR THE ITEM SHALL INCLUDE LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL TRAFFIC SIGNAL INSTALLATION IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. COORDINATE WORK WITH THE PAVEMENT CONSTRUCTION PROJECT.
9. THE LOCATION OF ALL DETECTOR LOOPS AND HANDHOLES ARE APPROXIMATE ONLY AND ARE SUBJECT TO ADJUSTMENT IN THE FIELD AS APPROVED BY THE ENGINEER.
10. INSTALL CONTINUOUS SIGNAL CABLE FROM EACH SIGNAL POLE TO THE BASE OF THE CABINET. AN 8-CONDUCTOR CABLE SHALL BE USED IN THE POLES FOR 5 SECTION SIGNAL HEADS. A 5-CONDUCTOR CABLE SHALL BE USED IN THE POLES FOR ALL OTHER 2-SECTION, 3-SECTION, OR 4-SECTION SIGNAL HEADS UNLESS NOTED OTHERWISE.
11. THE LUMINAIRE SHALL HAVE A MOUNTING HEIGHT OF 40.00 FEET AND AN ARM LENGTH OF 15.00 FEET AS INDICATED ON PLANS. INSTALL TWO (2) 1-CONDUCTOR NO. 10 CABLES FROM THE LUMINAIRE TO THE BASE OF THE POLE.
12. INSTALL A NO.6 A.W.G. BARE COPPER GROUND WIRE BETWEEN THE GROUND RODS IN THE SIGNAL FOOTINGS AND THE CONTROLLER CABINET TO FORM A CONTINUOUSLY GROUNDED SYSTEM. THE GROUND WIRE SHALL BE INSTALLED IN ALL CONDUITS.
13. ALL PUSHED CONDUIT, CONDUIT UNDER THE ROADWAY AND ABOVE GROUND RISERS SHALL BE SCHEDULE 80 PVC CONDUIT. ALL CONDUIT OUTSIDE OF PAVED AREAS SHALL BE SCHEDULE 80 PVC CONDUIT UNLESS OTHERWISE SHOWN ON PLANS. PUSHED CONDUIT UNDER THE RAILROAD SHALL BE RIGID STEEL. UNLESS OTHERWISE APPROVED BY RAILROAD.
14. PROVIDE TRANSFORMER BASE FOR ALL POLES.
15. ALL VIDEO DETECTORS SHALL BE PROVIDED WITH DELAY AND EXTENSION TIMING, THE DELAY INHIBIT ON EACH UNIT SHALL BE IN EFFECT DURING THE ASSOCIATED GREEN PHASE.
16. SIGNS MOUNTED ON TRAFFIC SIGNAL POLES AND MAST ARMS ARE INCIDENTAL TO TRAFFIC SIGNALS AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
17. POLES AND MAST ARMS SHALL BE GALVANIZED. SIGNAL HEADS SHALL BE BLACK WITH BLACK FACE.
18. ALL NEW POLE FOUNDATIONS AND CONTROLLER FOUNDATION SHALL BE SET TO FINISH GRADES.
19. THE CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR VIDEO DETECTION INSTALLATION AND SYSTEM CABLE. THE VIDEO CAMERA POWER AND COAXIAL CABLE SHALL BE CONTINUOUS WITHOUT SPLICES FROM THE CAMERA TO THE SIGNAL POLE BASE AND FROM THE SIGNAL POLE BASE TO THE CONTROLLER.
20. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
21. CONTRACTOR TO MAINTAIN FOUR WAY TRAFFIC CONTROL DURING CONSTRUCTION UNTIL NEW SYSTEM IS IN OPERATION UNLESS WRITTEN AUTHORIZATION IS GIVEN BY ENGINEER.
22. ABOVE GRADE CONNECTIONS ARE TO BE MADE USING A WATERPROOF WIRE NUT. BELOW GRADE CONNECTIONS TO USE 3M DIRECT BURY KIT (EITHER DBR OR DBY) OR APPROVED EQUAL.
23. CONTRACTOR TO AIM VIDEO CAMERA TO DETECT INTERSECTIONS TRAFFIC MOVEMENTS AND THE DILEMMA DETECTION ZONE TRAFFIC MOVEMENTS WITHIN 200 FEET OF THE INTERSECTION (COORDINATE WITH ENGINEER).

TRAFFIC SIGNAL POLE SUMMARY												
POLE NO.	POLE TYPE	MAST ARM LENGTH (FT.)	LUMINAIRE ARM			FOOTING DIMENSIONS		TOTAL QUANTITY	SIGNAL EQUIPMENT SPACING ON MAST ARM			
			SPREAD (FT.)	MOUNTING HEIGHT (FT.)	ORIENTATION (DEGREES)	DIAMETER R (FT.)	DEPTH (FT.)		SIGNAL 1	SIGNAL 2	VIDEO-RADAR UNIT	BLANK-OUT SIGN
1	SIGNAL	20	N/A	N/A	N/A	3	14 (SEE NOTE 1)	1	16.2'	—	11.2'	—
2	COMBINATION SIGNAL/LIGHTING	34	15	40	0	3	14 (SEE NOTE 2)	1	13.2'	11'	10.2'	28.2'
3	COMBINATION SIGNAL/LIGHTING	22	15	40	0	3	12	1	10'	11.5'	18.5'	4.7'

- NOTES:
2. TOP OF FOUNDATION ELEVATION SHALL BE 1091.76'
3. TOP OF FOUNDATION ELEVATION SHALL BE 1086.66'

ABBREVIATIONS

- SIG SIGNAL HEAD CABLE
- PED HD PEDESTRIAN HEAD CABLE
- PED PB PEDESTRIAN PUSHBUTTON CABLE
- BLNK ELECTRONIC BLANK OUT SIGN
- CNTRL CONTROLLER
- LUM LUMINAIRE
- N NEUTRAL
- LN1 POWER – LINE 1
- LN2 POWER – LINE 2
- GND GROUND WIRE 1c #6
- TR TRACER WIRE 1c #10
- PR PULL ROPE
- U.A.C. USE AS CONSTRUCTED
- Y1 FUSED WYE CONNECTOR FOR STREET LIGHTING
- Y2 NON-FUSED WYE CONNECTOR FOR STREET LIGHTING
- Y3 NON-FUSED WYE CONNECTOR FOR STREET LIGHTING
- L1 FUSED IN-LINE CONNECTOR FOR STREET LIGHTING
- L2 NON-FUSED IN-LINE CONNECTOR FOR STREET LIGHTING
- (S) DET SHIELDED LOOP DETECTOR LEAD-IN
- LOOP DETECTOR LOOP WIRE IN TUBING
- HH HANDHOLE
- FY FLASHING YELLOW
- SY STEADY YELLOW
- SM SINGLE MODE
- VIDEO VIDEO DETECTION CAMERA CABLE
- CAT6 CCTV CAMERA CABLE
- EVP EMERGENCY VEHICLE PREEMPT DETECTOR CABLE



TRAFFIC SIGNAL DESIGN



I hereby certify that this plan was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

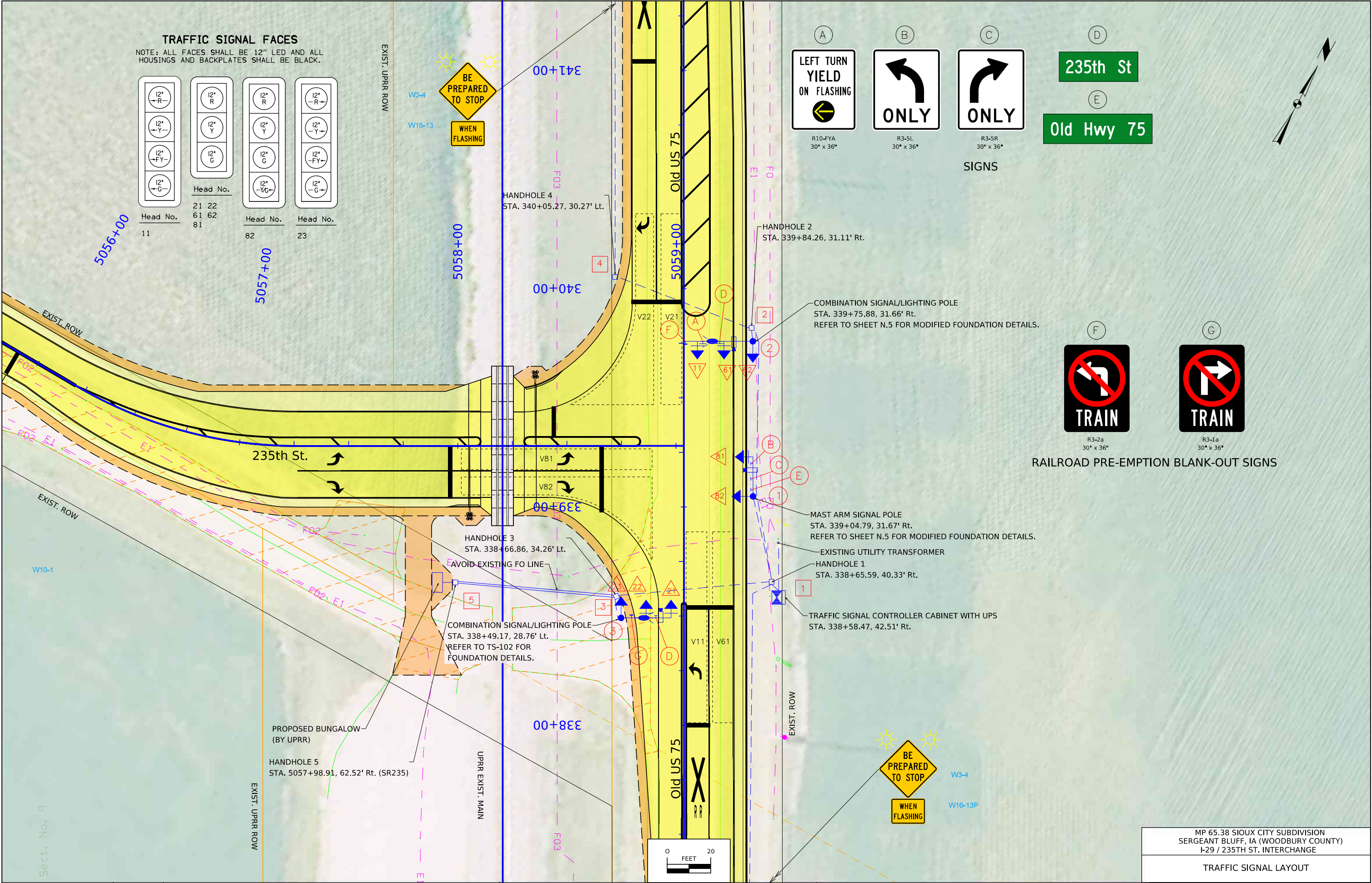
Signature _____ Date _____
Levi Dermyer
Printed or Typed Name
My license renewal date is December 31, 2025

Pages or sheets covered by this seal: N.1 - N.3

SIGNAL LEGEND

- POWER SOURCE
- TRAFFIC SIGNAL CABINET AND CONTROLLER
- TRAFFIC SIGNAL POLE, FOOTING SYMBOL, AND IDENTIFYING NUMBER
- LUMINAIRE
- TRAFFIC SIGNAL HEAD WITH BACKPLATE SYMBOL AND IDENTIFYING NUMBER
- TRAFFIC SIGNAL HEAD SYMBOL AND IDENTIFYING NUMBER
- VIDEO DETECTION AREA AND IDENTIFYING NUMBER
- 24"X24"X28" TYPE 1 HANDHOLE SYMBOL AND IDENTIFYING NUMBER
- VIDEO FUSED RADAR DETECTION UNIT
- MAST ARM MOUNTED SIGN AND IDENTIFYING LETTER
- MAST ARM MOUNTED BLANK-OUT SIGN AND IDENTIFYING LETTER
- TRENCHED SIGNAL CONDUIT
- PUSHED SIGNAL CONDUIT

ESTIMATE OF TRAFFIC SIGNAL QUANTITIES				
ITEM	ITEM NO.	DESCRIPTION	UNIT	QUANTITY
CONTROLLER AND CABINET	1	CABINET, BASE MOUNTED, WITH 12" ALUM. RISER; CONFLICT MONITOR, ALL ACCESSORIES, ASSOCIATED HARDWARE, CONNECTORS AND SPLICES COMPLETE	EA	1
	2	PROVIDE WIRE FOR 8 VEHICLE MOVEMENTS, 12-PHASE BACK PANEL AND 12-CHANNEL CONFLICT MONITOR AND ACCESSORIES	EA	1
	3	8-PHASE CONTROLLER, MENU DRIVE, KEYBOARD ENTRY W/ACCESSORIES	EA	1
	4	SERVICE CABINET/BATTERY BACKUP UPS SYSTEM COMPLETE	EA	1
RR PREEMPTION	5	DC ISOLATOR MODULES FOR RR PREEMPTION	EA	2
	6	OUTPUT FILE NO. 2 (AUX-RR) AND ACCESSORIES	EA	1
DETECTOR UNITS	7	VIDEO FUSED RADAR DETECTION SYSTEM – COMPLETE	LS	1
TRAFFIC SIGNAL HEADS	8	3-SECTION, 12" LED LAMPS W/BACKPLATE AND MAST ARM MOUNTING BRACKET	EA	4
	9	3-SECTION, 12" LED LAMPS W/BACKPLATE AND POLE MOUNTING BRACKET	EA	1
	10	4-SECTION, 12" LED LAMPS W/BACKPLATE AND MAST ARM MOUNTING BRACKET	EA	1
	11	4-SECTION, 12" LED LAMPS W/BACKPLATE AND POLE MOUNTING BRACKET	EA	2
	12	1-SECTION, 12" LED LAMP YELLOW AND MOUNTING BRACKET (SIGNAL WARNING SIGNS)	EA	4
HANDHOLES	13	PRECAST CONCRETE COMPOSITE (17" W X 30" L X 24" D); TYPE II (TO SIGNAL WARNING SIGNS)	EA	3
	14	PRECAST CONCRETE, 24" DIA. W/CAST IRON RING AND COVER; TYPE I (AT INTERSECTION AND RR BUNGALOW)	EA	5
WIRE AND CABLE	15	3-CONDUCTOR TRAFFIC SIGNAL #14	LF	1635
	16	5-CONDUCTOR TRAFFIC SIGNAL #14	LF	560
	17	7-CONDUCTOR TRAFFIC SIGNAL #14	LF	450
	18	18-CONDUCTOR TRAFFIC SIGNAL PREEMPTION #14 SHIELDED	LF	290
	19	1-CONDUCTOR GROUND WIRE; BARE	LF	320
	20	1-CONDUCTOR TRACER WIRE #10; THHN	LF	1600
	21	VIDEO (COMMUNICATION COAXIAL CABLE) PER MANUFACTURERS REQUIREMENTS	LF	340
	22	VIDEO (POWER CABLE) PER MANUFACTURERS REQUIREMENTS	LF	340
	23	2-CONDUCTOR #8; LUMINAIRE	LF	405
	24	1-CONDUCTOR #6; SERVICE	LF	200
CONDUIT	25	2" PVC, PUSHED OR TRENCHED	LF	1205
	26	3" PVC, PUSHED OR TRENCHED	LF	590
	27	3" STEEL, PUSHED	LF	75
	28	4" PVC, PUSHED OR TRENCHED	LF	20
TRAFFIC SIGNAL POLES	29	COMBINATION SIGNAL/LIGHTING; 24' MAST ARM W/15' LUMINAIRE ARM; TRANSFORMER BASE	EA	1
	30	COMBINATION SIGNAL/LIGHTING; 34' MAST ARM W/15' LUMINAIRE ARM; TRANSFORMER BASE	EA	1
	31	SIGNAL MAST ARM POLE; 20' ARM; TRANSFORMER BASE	EA	1
CONCRETE FOOTINGS	32	CONTROLLER CABINET FOUNDATION	EA	1
	33	SIGNAL POLE FOOTING; SEE TRAFFIC SIGNAL POLE SUMMARY TABLE FOR DEPTHS	EA	3
LUMINAIRE	34	LUMINAIRE, 120 VOLT, 250 WATT EQUIVALENT LED W/PHOTO CELL	EA	2
	35	FUSE HOLDERS	EA	4
	36	CIRCUIT BREAKER, IN CABINET FOR LUMINAIRES – 20 AMP	EA	1
MISC	37	POWER SERVICE CONNECTION	EA	1
	38	FLASHER CONTROL EQUIPMENT (SIGNAL WARNING SIGNS) – COMPLETE	EA	2



TRAFFIC SIGNAL FACES

NOTE: ALL FACES SHALL BE 12" LED AND ALL HOUSINGS AND BACKPLATES SHALL BE BLACK.

<div><div>12" R</div><div>12" Y</div><div>12" FY</div><div>12" G</div></div>	<div><div>12" R</div><div>12" Y</div><div>12" G</div></div>	<div><div>12" R</div><div>12" Y</div><div>12" G</div></div>	<div><div>12" R</div><div>12" Y</div><div>12" FY</div><div>12" G</div></div>
Head No.	Head No.	Head No.	Head No.
21	22	61	62
81		82	23

A

LEFT TURN
YIELD
ON FLASHING

R10-FYA
30" x 36"

B

ONLY

R3-5L
30" x 36"

C

ONLY

R3-5R
30" x 36"

SIGNS

D

235th St

E

Old Hwy 75

F

TRAIN

R3-2a
30" x 36"

G

TRAIN

R3-1a
30" x 36"

RAILROAD PRE-EMPTION BLANK-OUT SIGNS

MP 65.38 SIOUX CITY SUBDIVISION
SERGEANT BLUFF, IA (WOODBURY COUNTY)
I-29 / 235TH ST. INTERCHANGE

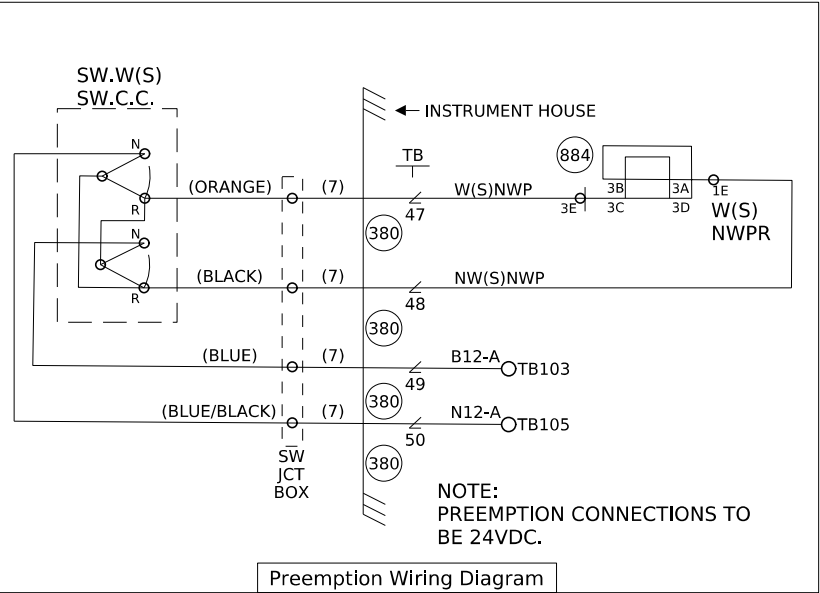
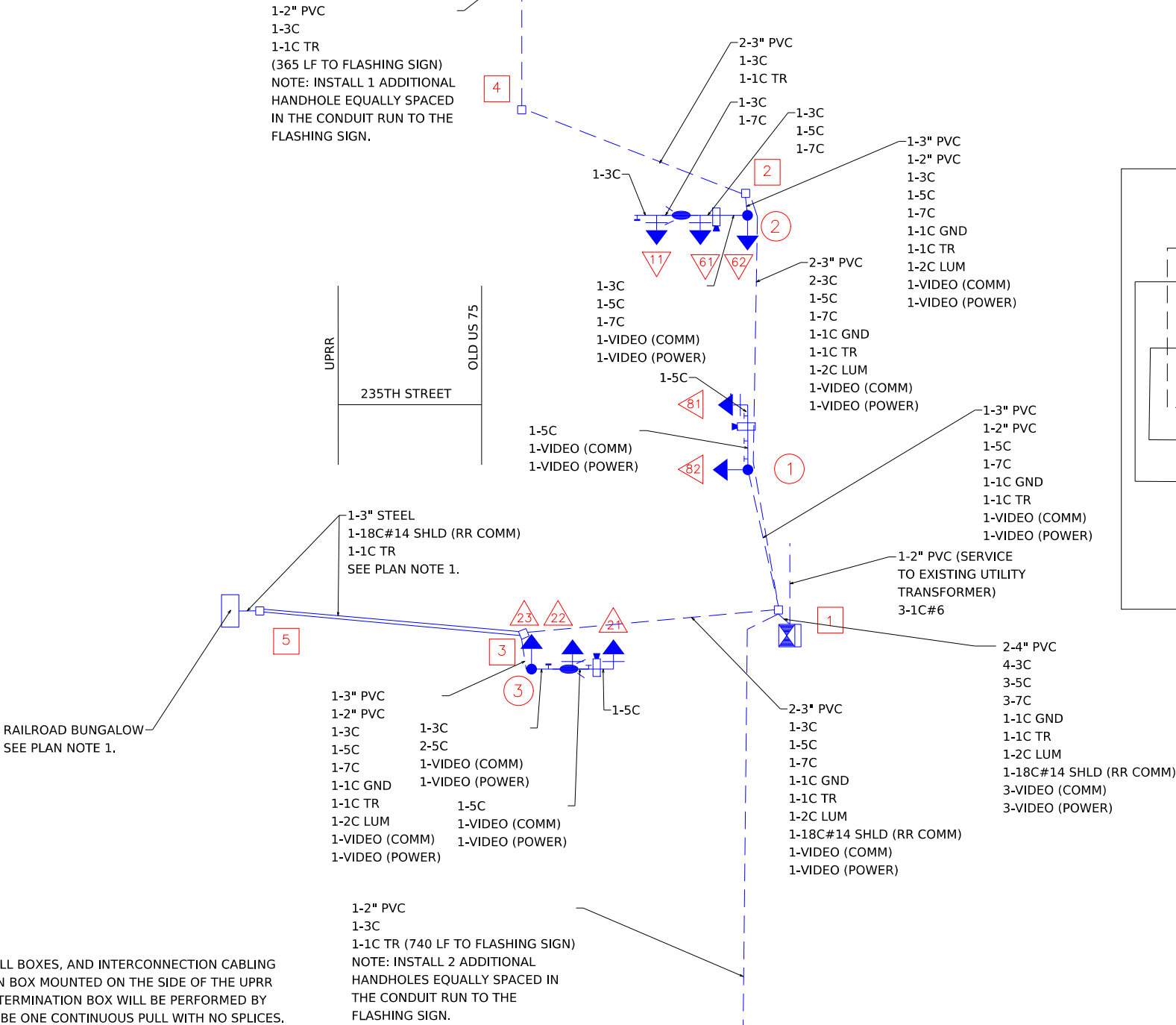
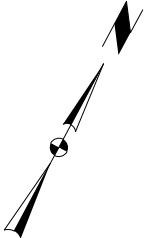
TRAFFIC SIGNAL LAYOUT

SHEET NUMBER **N.2**

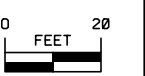
DETECTOR SUMMARY								
DETECTOR NO.	TYPE/SIZE	PED. PUSH BUTTON	PHASE CALLED	PHASE EXTENDED	DELAY TIME (SEC.)	NO. OF UNITS/CHANNELS	WIRED IN SERIES	COMMENTS
V11	VIDEO	—	1	1	—	1	—	—
V21	VIDEO	—	2	2	—	1	—	—
V22	VIDEO	—	2	2	—	1	—	Phase 2 & Overlap A
V61	VIDEO	—	6	6	—	1	—	—
V81	VIDEO	—	8	8	—	1	—	—
V82	VIDEO	—	8	8	—	1	—	Phase 8 & Overlap B
R23	RADAR	—	2	2	—	1	—	(210' to 320' FROM STOP BAR)
R62	RADAR	—	6	6	—	1	—	(210' to 320' FROM STOP BAR)

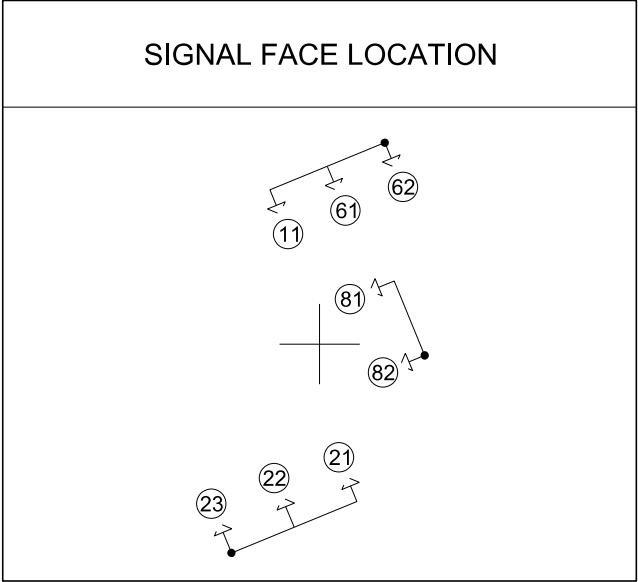
* EXACT LIMITS OF DETECTION ZONES SHALL BE SET IN THE FIELD BY THE EQUIPMENT MANUFACTURER'S REPRESENTATIVE AT THE TIME OF INSTALLATION.

LEGEND	
	Signal Number
	Pole Number
	Handhole Number
	Preempt Identification
	Ground Wire
	Luminaire
	Tracer Wire
	Video Detection Cable



- PLAN NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT, PULL BOXES, AND INTERCONNECTION CABLING FROM THE TRAFFIC SIGNAL CABINET TO THE TERMINATION BOX MOUNTED ON THE SIDE OF THE UPRR SIGNAL INSTRUMENT HOUSE. FINAL CONNECTION IN THE TERMINATION BOX WILL BE PERFORMED BY UPRR FORCES. RAILROAD PREEMPTION CABLING SHOULD BE ONE CONTINUOUS PULL WITH NO SPLICES. CONTACT UPRR FOR RIGHT OF ENTRY REQUIREMENTS. BORING UNDER TRACK TO BE COORDINATED WITH UPRR.





LEGEND

	VEHICULAR MOVEMENT
	PARTIALLY RESTRICTED VEHICULAR MOVEMENT
	PEDESTRIAN MOVEMENT
R/W	RIGHT OF WAY INTERVAL
1/2	TRAFFIC PHASE
R	CIRCULAR RED
Y	CIRCULAR YELLOW
G	CIRCULAR GREEN
S	GREEN STRAIGHT AHEAD ARROW
	YELLOW LEFT ARROW
	FLASHING YELLOW LEFT ARROW
L	GREEN LEFT ARROW
	RED LEFT ARROW
	YELLOW RIGHT ARROW
	FLASHING YELLOW RIGHT ARROW
RT	GREEN RIGHT ARROW
	RED RIGHT ARROW
W	WALK
DW	DON'T WALK
FDW	FLASHING DON'T WALK
AO	ALL OTHER PHASES
PR1	PREEMPT #1
PR2	PREEMPT #2
	SIGNAL FACE
	FUTURE SIGNAL FACE

FLASHING OPERATION

OLD HWY 75	RED
235TH ST	RED

TRAFFIC PHASING AND COLOR SEQUENCE

NORTH

N

W

E

S

OLA

Ø8

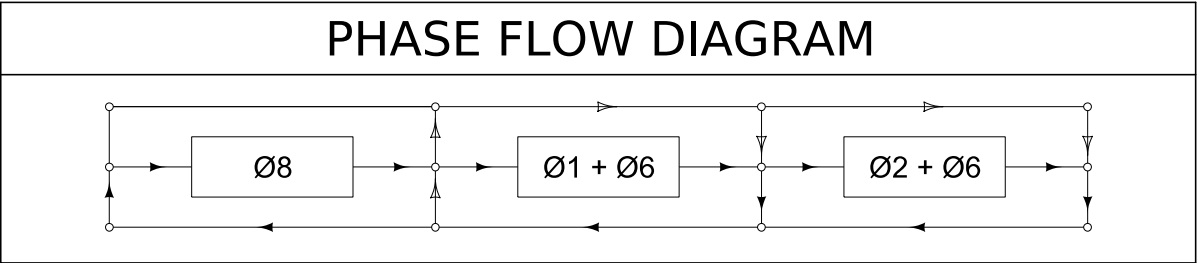
Ø1

Ø6

Ø2

Ø6

APPROACH	FACE NO.	Ø8			Ø1 + Ø6			Ø2 + Ø6		
		R/W	CLEAR TO Ø		R/W	CLEAR TO Ø		R/W	CLEAR TO Ø	
			1+6	2+6		8	2+6		8	1+6
NORTHBOUND OLD HWY 75	11				L					
	61, 62	R	R	R	G	Y	G	G	Y	G
SOUTHBOUND OLD HWY 75	21, 22	R	R	R	R	R	R	G	Y	Y
	23	RT		RT	R	R	R	RT	RT	
EASTBOUND 235TH ST	81	G	Y	Y	R	R	R	R	R	R
	82	G	Y	Y	RT			R	R	R



NOTE: FLOW PATH IF ALL PHASES ARE REQUESTED
 FLOW PATH WHEN PHASE IS NOT REQUESTED BEFORE RIGHT-OF-WAY TRANSFER
THE RED CLEARANCE INTERVAL SHALL BE INCLUDED IN THE COLOR SEQUENCE WHEN CALLED FOR BY CONTROLLER TIMING

INITIAL RECOMMENDED TIMING (SECONDS)

PHASE	1	2	6	8
MINIMUM GREEN	5	15	15	5
PASSAGE	0.3	1.8	1.8	0.3
MAXIMUM I	20	60	60	30
MAXIMUM II				
YELLOW CHANGE	3.0	5.1	5.1	3.0
RED CLEARANCE	2.1	1.0	1.0	1.8
WALK				
PEDESTRIAN CLEARANCE				
ADDED INITIAL				
TIME TO REDUCE				
TIME BEFORE REDUCTION				
MINIMUM GAP				
RAILROAD GATE (PRI)				
RAILROAD CLEARANCE				55

NOTE: ENGINEER WILL ASSIST CONTRACTOR IN TIMING OF SIGNALS
TRAFFIC SIGNAL SHALL REST IN GREEN FOR PHASE 2 AND 6
WHEN NO VEHICLE CALL EXISTS FOR OTHER PHASES

NOTE: TRAFFIC SIGNALS AT THE INTERSECTION OF OLD HWY 75 AND 235TH STREET WILL BE PREEMPTED BY THE RAILROAD SIGNALS LOCATED AS SHOWN ON PLANS. WHEN PREEMPTED BY APPROACHING TRAIN AND AFTER RAILROAD CLEARANCE TIME, PLACE OLD HWY 75 THROUGH MOVEMENT TRAFFIC SIGNALS IN GREEN AND 235TH STREET TRAFFIC SIGNALS IN RED AND ILLUMINATE BLANK-OUT SIGNS TO PROHIBIT NORTHBOUND LEFT TURN AND SOUTHBOUND RIGHT TURN.

TRAFFIC SIGNAL DESIGN

I hereby certify that this plan was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature

Joseph Blasi, PE, PTOE

Date

Printed or Typed Name

My license renewal date is December 31, 2026

Pages or sheets covered by this seal: N.4

TRAFFIC PHASING

SURVEY SYMBOLS

	Interstate Highway Symbol		Septic Tank
	U.S. Highway Symbol		Cistern
	Iowa Highway Symbol		L.P. Gas Tank (No Footing)
	County Road Highway Symbol		Underground Storage Tank
	Evergreen Tree		Latrine
	Deciduous Tree		Satellite TV Dish
	Fruit Tree		Water Hook Up
	Shrub (Bushes)		Radio Tower
	Timber		Tower Anchor
	Hedge		Guardrail (Beam or Cable)
	Stump		Guard Post (one or two)
	Swamp		Guard Post (over two)
	Rock Outcrop		Filler Pipe
	Broken Concrete		Gas Valve
	Revetment (Rip Rap)		Water Valve
	Cemetery		Speed Limit Sign
	Grave		Mile Marker Post
	Cave		Sign
	Sink Hole		Traffic Signal Control Box
	Board Fence		Rail Road Signal Control Box
	Chain Link or Security Fence		Telephone Switch Box
	Wire Fence		Electric Box
	Terrace		
	Earth Dam or Dike (Existing)		
	Tile Outlet		
	Edge of Water		
	Existing Drainage		
	Right of Way Rail or Lot Corner		
	Concrete Monument		
	Well		
	Windmill		
	Beehive Intake		
	Existing Intake		
	Existing Utility Access (Manhole)		
	Fire Hydrant		
	Water Hydrant (Rural)		

UTILITY LEGEND

- F02 -	LONG LINES LTD. (Telephone) TOM CONNORS 712-333-1352 tom.connors@longlines.biz
- FO -	MIDWEST FIBER NETWORKS LCC Contact Name Contact Email
- G -	NORTHERN NATURAL GAS COMPANY (Gas Transmission) JEFF LARSON 402-398-7618 Jeff.Larson@nngco.com
- SAN -	SIOUX CITY (Sanitary Sewer, Water) JON O'BRIEN 712-279-6135 jobrien@sioux-city.org
- E1 -	WOODBURY COUNTY REC (Electric Distribution) Nate Bauer 712-873-3125 nbauer@woodburyrec.com
	AT&T (Fiber Transmission) LENNY VOHS 816-275-4014 lv2121@att.com
	BLACK HILLS ENERGY (Gas) BRAD FLEMING 402-221-2714 brad.fleming@blackhillscorp.com
	FIBERCOMM (Fiber Distribution) RICK WELCH 712-224-2054 rwelch@fibercomm.net
	LUMEN CENTURYLINK (Fiber Distribution) SEAN HOSTETTER 515-233-6404 sean.hostetter@lumen.com
	MIDAMERICAN ENERGY COMPANY (Electric Distribution) CASEY MEINEN 712-233-4831 Casey.meinen@midamerican.com
	MIDAMERICAN ENERGY COMPANY (Electric Distribution) WILLIAM SCHIERBROCK 563-333-8155 William.Schierbrock@midamerican.com
	MIDAMERICAN ENERGY COMPANY (Gas) TYLER AHLQUIST 712-277-7832 tjalquist@midamerican.com
	MIDAMERICAN ENERGY COMPANY (Fiber) BRIAN RECKER 515-242-4377 Brian.Recker@midamerican.com
	SPRINT-TMOBILE (Fiber Transmission) MIKE CHEBUL 402-522-2607 michael.j.chebul@t-mobile.com

PLAN VIEW COLOR LEGEND OF PLAN AND PROFILE SHEETS

LINEWORK	Design Color No.	
Green	(2)	Existing Topographic Features and Labels
Blue	(1)	Proposed Alignment, Stationing, Tic Marks, and Alignment Annotation
Magenta	(5)	Existing Utilities
SHADING	Design Color No.	
Lavender	(9)	Temporary Pavement Shading
Yellow	(4)	Proposed Pavement Shading
Orange	(6)	Proposed Granular Shading
Orange	(70)	Proposed Shoulder Granular Shading
Yellow	(68)	Proposed Shoulder Paved Full Depth Shading
Yellow	(132)	Proposed Shoulder Paved Partial Depth Shading
Gray, Dark	(112)	Proposed Grade and Pave Shading "In conjunction with a paving project"
Brown, Light	(236)	Grading Shading
Orange, Light	(134)	Proposed Granular Entrance Shading
Yellow	(220)	Proposed Paved Entrance Shading
Tan	(8)	Proposed Sidewalk Shading
Blue, Light	(230)	Proposed Sidewalk Landing Shading
Pink	(11)	Proposed Sidewalk Ramp Shading
Green, Light	(225)	Existing Pavement Shading
Red	(3)	Proposed Structure Shading
Red	(3)	Delineates Restricted Areas

PROFILE VIEW COLOR LEGEND OF PLAN AND PROFILE SHEETS

LINEWORK	Design Color No.	
Green	(10)	Existing Ground Line Profile
Blue	(1)	Proposed Profile and Annotation
Magenta	(5)	Existing Utilities
Blue, Light	(230)	Proposed Ditch Grades, Left
Black	(0)	Proposed Ditch Grades, Median
Rust	(14)	Proposed Ditch Grades, Right

	Reference Point
	Station
	Survey Line
	Section Corner
	Ground Line Intercept
	Saw Cut
	Guardrail
	Trench Drain
	HighTension Cable Guardrail
	Sheet Pile
	Pavement Removal
	Clearing & Grubbing Area

RIGHT-OF-WAY LEGEND

	Proposed Right-of-Way
	Existing Right of Way
	Existing and Proposed Right-of-Way
	Easement and Existing Right-of-Way
	Easement (Temporary)
	Easement
	Access Control
	Property Line

TRAFFIC SIGNAL LEGEND

	MASTARM SUSPENDED TRAFFIC SIGNAL
	LUMINAIRE
	POWER SOURCE
	CONTROLLER CABINET
	TRAFFIC SIGNAL HEAD WITH BACKPLATE SYMBOL
	TRAFFIC SIGNAL HEAD SYMBOL
	TRENCHED SIGNAL CONDUIT
	PUSHED SIGNAL CONDUIT

PLAN AND PROFILE
LEGEND AND SYMBOL
INFORMATION SHEET

(COVERS SHEET SERIES U)

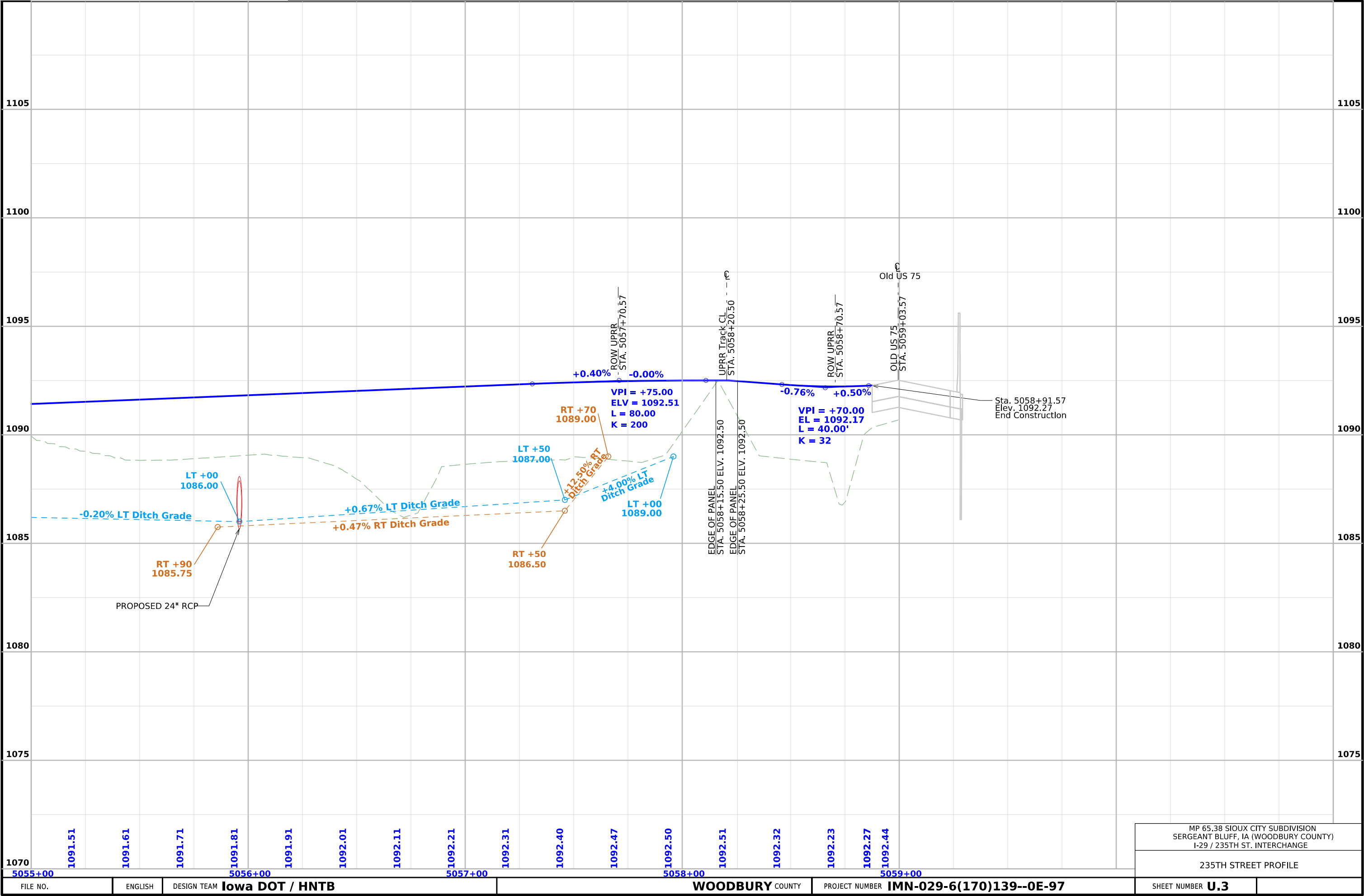
1. FULL ROAD CLOSURE WITH DETOUR IS PLANNED TO COMPLETE ROADWAY WORK.
2. UPRR OPERATES SIX (6) FREIGHT TRAINS PER DAY AT A MAXIMUM TIMETABLE SPEED OF 40 MPH ON THE SIOUX CITY SUBDIVISION.

1. EXISTING AT-GRADE CROSSING TO REMAIN IN SERVICE DURING STAGE 1 CONSTRUCTION AND REMOVED IN STAGE 2A.
2. UPRR TO PERFORM TRACK WORK AND INSTALL NEW 8'-1.5" CONCRETE PANELS, ACTIVE WARNING DEVICES, CONSTANT WARNING TIME CIRCUITRY, AND BUNGALOW. UPRR TO INSTALL PANELS ON 10' WOOD TIES PER UPRR STANDARD DWG 0304.
3. STA. 5058+05.50, 32.23' RT, UPRR TO CONSTRUCT GATE AND FOUNDATION 15' FROM CENTERLINE OF TRACK. PROVIDE 32' GATE ARM LENGTH FROM CENTER OF MAST TO CENTERLINE OF ROADWAY, PARALLEL TO TRACK AND TWO SIDELIGHTS, ONE POINTED DOWN EACH LANE OF TRAFFIC ON OLD US 75. BACKLIGHTS ARE TO BE ORIENTED TOWARDS 235TH STREET LEFT TURN LANE WEST OF THE CROSSING.
4. STA. 5058+35.50, 32.75' LT, UPRR TO CONSTRUCT GATE AND FOUNDATION 15' FROM CENTERLINE OF TRACK. PROVIDE 32' GATE ARM LENGTH FROM CENTER OF MAST TO CENTERLINE OF ROADWAY, PARALLEL TO TRACK.
5. AFTER PROPOSED ROADWAY CONSTRUCTION AND CUT OVER, UPRR SHALL REMOVE EXISTING CROSSING PANELS, ROADWAY SURFACE AND PASSIVE WARNING DEVICES TO BE DISPOSED BY IOWA DOT CONTRACTOR.

1. CONSTRUCT PROPOSED ROADWAY ADJACENT TO PROPOSED UPRR WORK LIMITS. CONTRACTOR TO PAVE AREA ADJACENT TO CONCRETE PANELS PER DETAILS ON SHEET U.9. EXTEND ASPHALT PAVING FROM OUTSIDE PANEL EDGE TO A 5' OFFSET AS SHOWN ON THIS SHEET.
2. CONSTRUCT 12' ACCESS ROAD (STA. 5057+82.00 RT) AND BUNGALOW PAD.
3. AFTER PROPOSED ROADWAY CONSTRUCTION AND CUT OVER, REMOVE EXISTING ROADWAY APPROACHES AND PERFORM NECESSARY GRADING ALONG UPRR ROW.
4. COORDINATE WITH UPRR ON CONSTRUCTION OF CONDUIT TO UPRR SIGNAL CABINET AND HARDWIRED CONNECTION BETWEEN THE TRAFFIC SIGNAL AND UPRR FOR RAIL TRAFFIC PREEMPTION.
5. SEE PROJECT IMN-029-6(319)139--0E-97 FOR TRAFFIC SIGNAL PLANS.

PROPOSED UPRR CROSSING DETAIL
235TH STREET PLAN

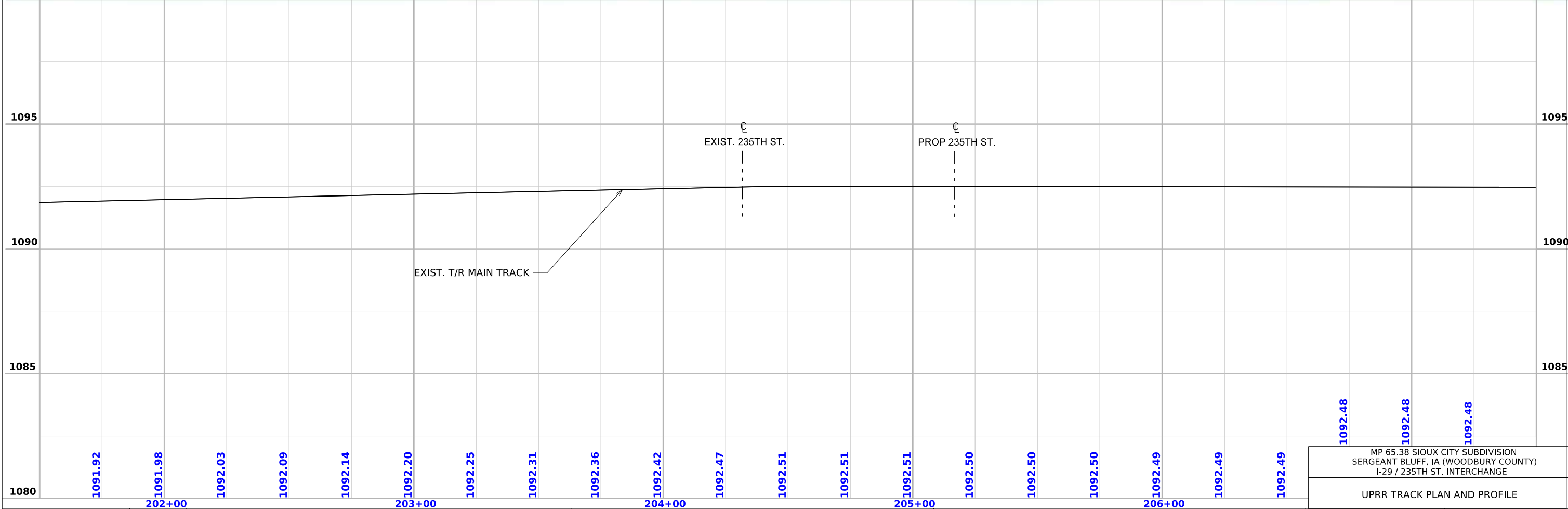
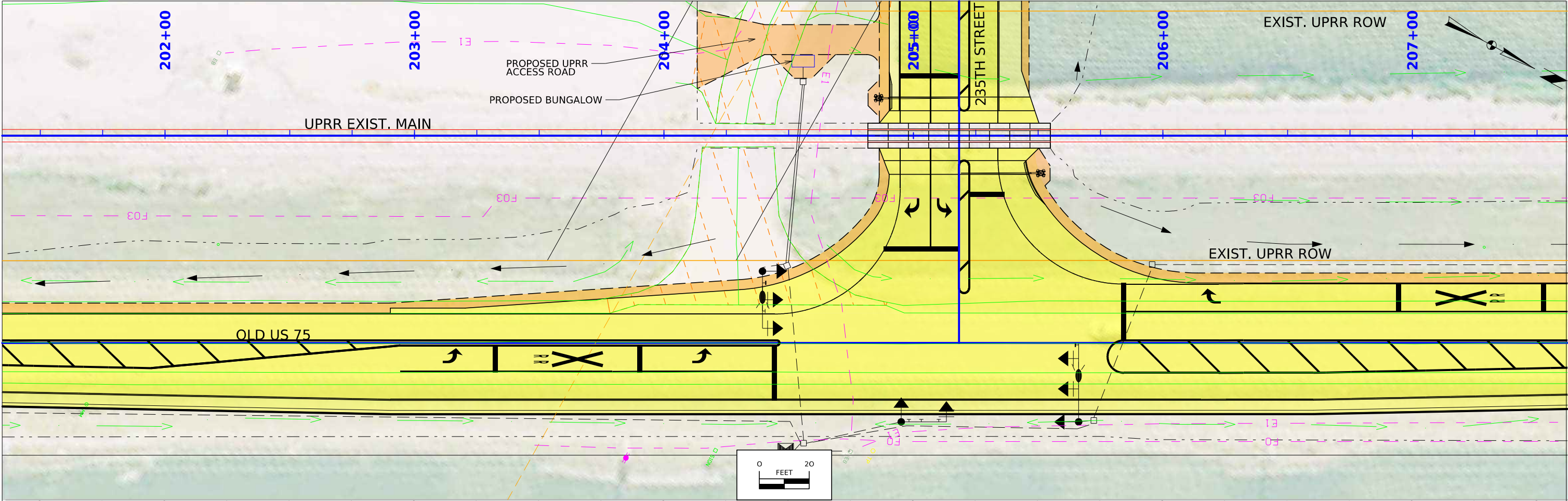
SHEET NUMBER **U.2**



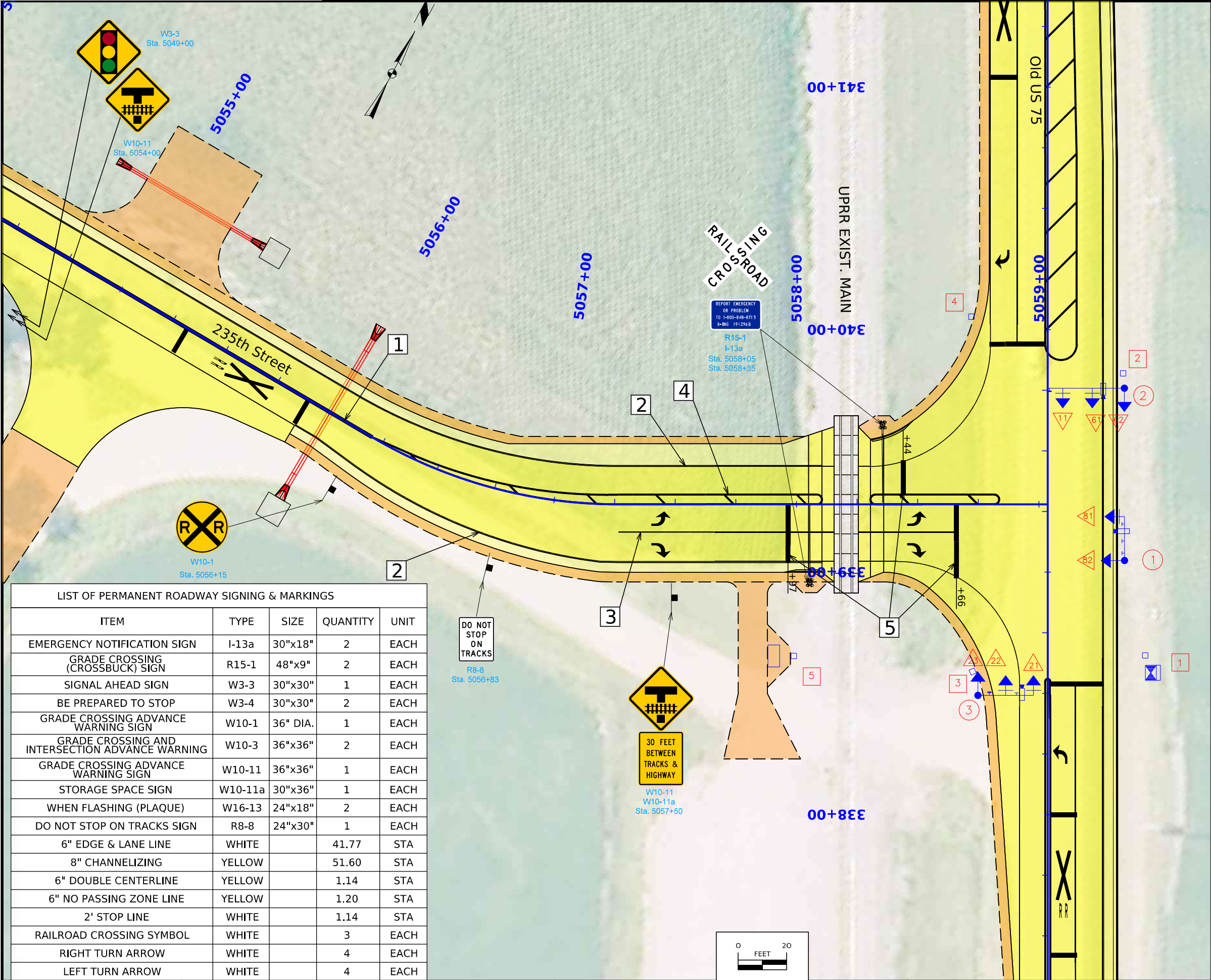
MP 65.38 SIOUX CITY SUBDIVISION
SERGEANT BLUFF, IA (WOODBURY COUNTY)
I-29 / 235TH ST. INTERCHANGE

235TH STREET PROFILE

SHEET NUMBER **U.3**



FILE NO.	ENGLISH	DESIGN TEAM	IOWA DOT \ HNTB	WOODBURY COUNTY	PROJECT NUMBER	IMN-029-6(170)139--0E-97	SHEET NUMBER	U.4
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LIST OF PERMANENT ROADWAY SIGNING & MARKINGS				
ITEM	TYPE	SIZE	QUANTITY	UNIT
EMERGENCY NOTIFICATION SIGN	I-13a	30"x18"	2	EACH
GRADE CROSSING (CROSSBUCK) SIGN	R15-1	48"x9"	2	EACH
SIGNAL AHEAD SIGN	W3-3	30"x30"	1	EACH
BE PREPARED TO STOP	W3-4	30"x30"	2	EACH
GRADE CROSSING ADVANCE WARNING SIGN	W10-1	36" DIA.	1	EACH
GRADE CROSSING AND INTERSECTION ADVANCE WARNING	W10-3	36"x36"	2	EACH
GRADE CROSSING ADVANCE WARNING SIGN	W10-11	36"x36"	1	EACH
STORAGE SPACE SIGN	W10-11a	30"x36"	1	EACH
WHEN FLASHING (PLAQUE)	W16-13	24"x18"	2	EACH
DO NOT STOP ON TRACKS SIGN	R8-8	24"x30"	1	EACH
6" EDGE & LANE LINE	WHITE		41.77	STA
8" CHANNELIZING	YELLOW		51.60	STA
6" DOUBLE CENTERLINE	YELLOW		1.14	STA
6" NO PASSING ZONE LINE	YELLOW		1.20	STA
2' STOP LINE	WHITE		1.14	STA
RAILROAD CROSSING SYMBOL	WHITE		3	EACH
RIGHT TURN ARROW	WHITE		4	EACH
LEFT TURN ARROW	WHITE		4	EACH

CONSTRUCTION NOTES

1. ALL SIGNING, PAVEMENT MARKINGS, AND WARNING DEVICES SHALL BE CONSTRUCTED / INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND STATE HIGHWAY STANDARDS.

CONTRACTOR

1

6" SOLID YELLOW DOUBLE CENTERLINE

2

6" SOLID WHITE EDGE LINE

3

6" SOLID WHITE LANE LINE

4

8" SOLID YELLOW CHANNELIZING LINE

5

2' WHITE STOP LINE

6

6" NO PASSING ZONE LINE

1. ALL SIGNING, PAVEMENT MARKINGS, TRAFFIC SIGNALS AND TRAFFIC SIGNAL APPURTENANCES SHALL BE CONSTRUCTED/INSTALLED IN ACCORDANCE WITH THE LATEST ADDITION OF THE (STATE) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) & STANDARD DRAWINGS.

2. ALL ROADWAY SIGNS PLACED IN ADVANCE OF THE CROSSING SIGNALS ARE TO BE PLACED SUCH THAT THEY DO NOT OBSTRUCT THE MOTORIST'S VIEW OF THE SIGNALS.

3. ALL SIGNS PLACED IN ADVANCE OF RAILROAD WARNING DEVICES SHALL BE A MINIMUM OF 12' FROM EDGE OF PAVEMENT OR MINIMUM OF 10' FROM FACE OF CURB.

4. UTILITY LOCATIONS, OWNERSHIP AND PROPOSED ROADWAY/TRACK WORK TO BE COORDINATED WITH JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS PUBLIC ROAD AUTHORITY ONE CALL AND U.P.R.R. PRIOR TO CONSTRUCTION.

5. LOCATIONS OF OVERHEAD AND UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO SIGN PLACEMENT.

6. ALL RAILROAD ADVANCE WARNING SIGNS SHALL BE DIAMOND GRADE REFLECTIVITY.

7. ALL PROPOSED SIGNS SHALL HAVE TELESCOPING METAL SIGN SUPPORTS. ALL POSTS ARE TO BE INSTALLED PER PUBLIC ROAD AUTHORITY DOT STANDARD. SIGN POSTS MUST BE BREAK AWAY TYPE WITH BREAK AWAY ANCHORS.

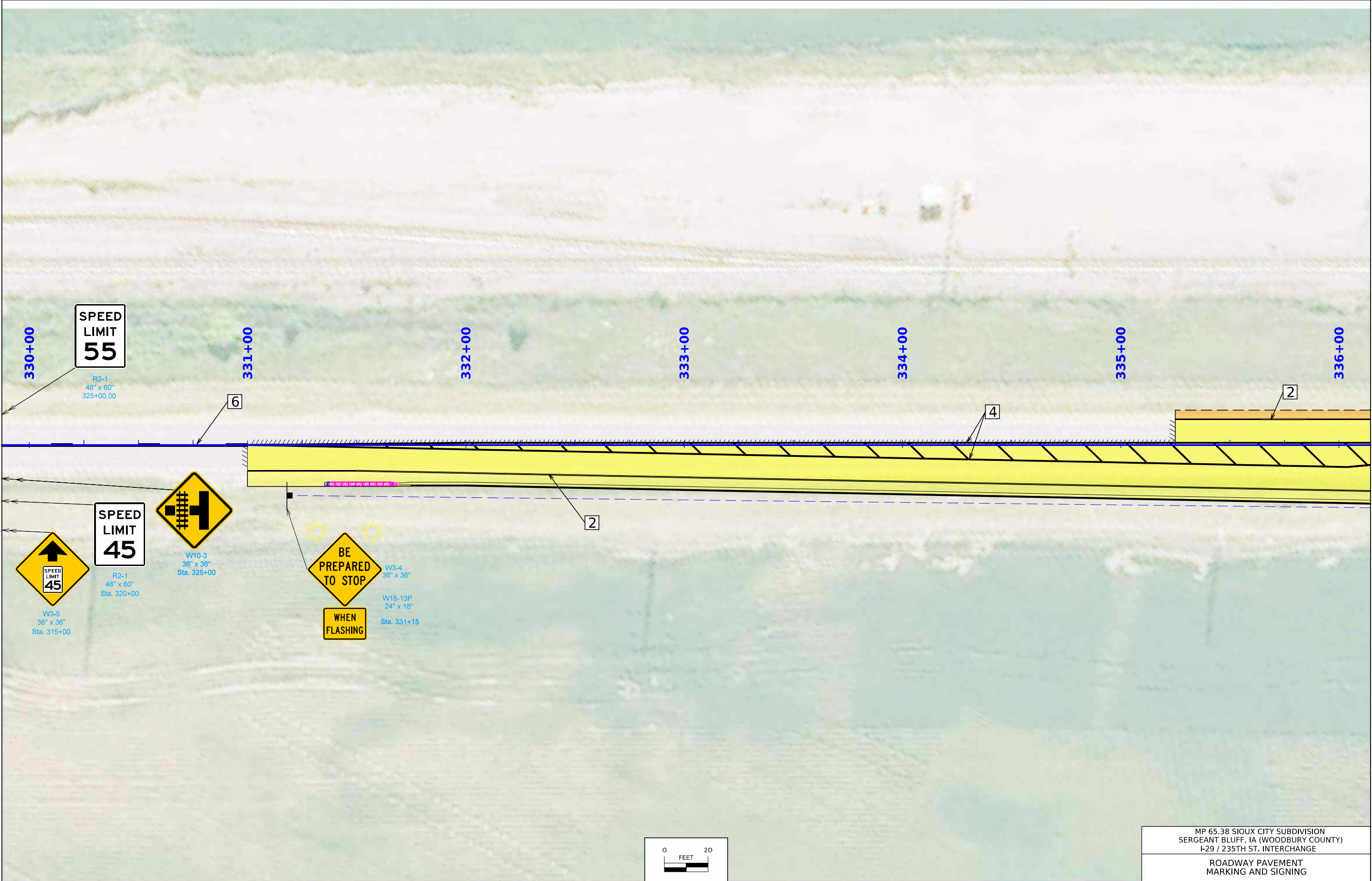
8. ROAD AUTHORITY OR CONTRACTOR TO CLEAR ALL TREE LIMBS AND BRUSH TO PROVIDE VISIBILITY FOR ALL NEW SIGNS AND EXISTING SIGNS TO REMAIN WITHIN THE PROJECT LIMITS.

9. FOR FULL PROJECT SIGNING PLANS, REFER TO PROJECT IMN-029-6(315)139--0E-97.

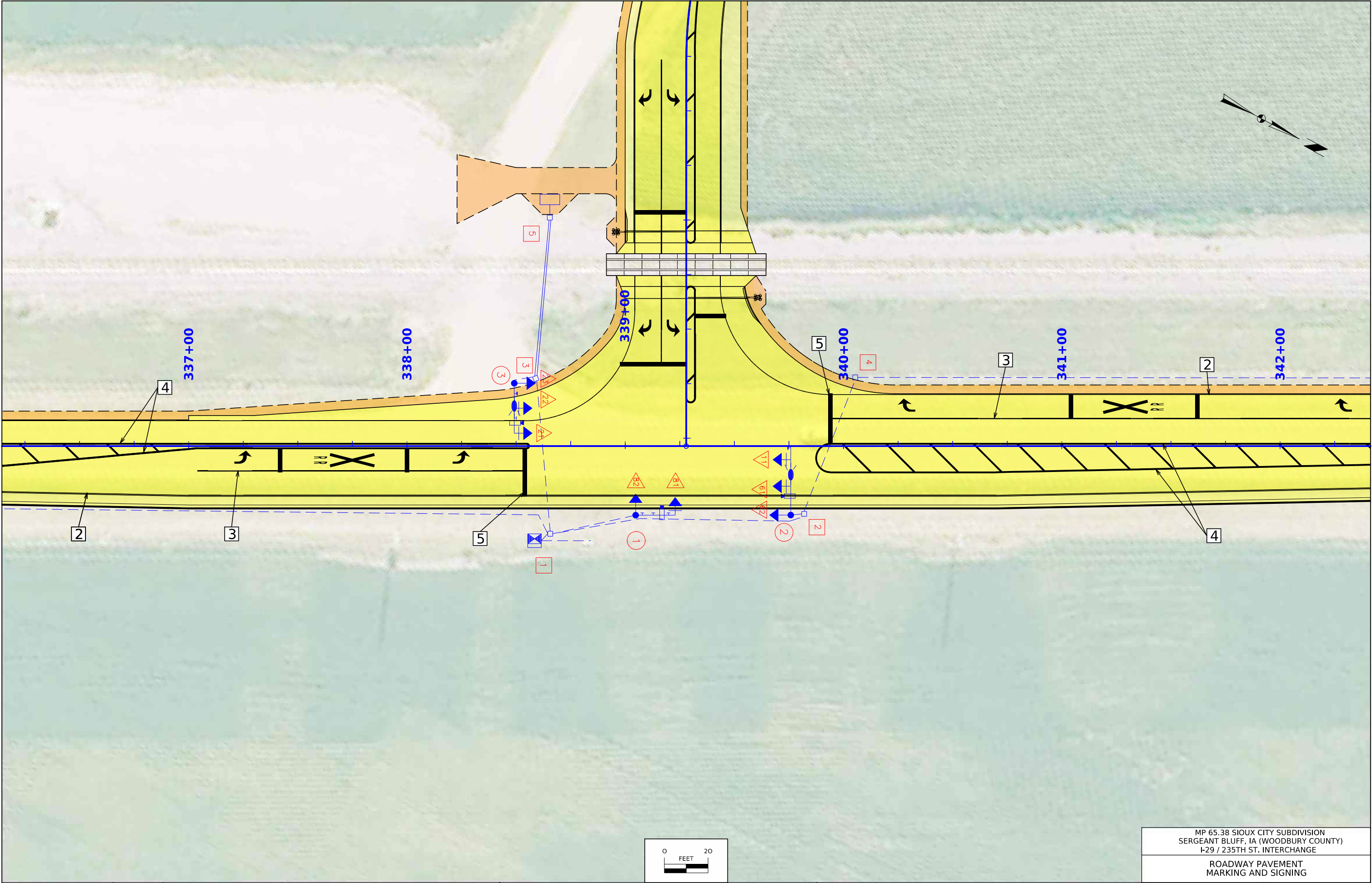
10. FOR FULL PROJECT PAVEMENT MARKING PLANS, REFER TO THE J SHEETS.

MP 65.38 SIOUX CITY SUBDIVISION
SERGEANT BLUFF, IA (WOODBURY COUNTY)
I-29 / 235TH ST. INTERCHANGE

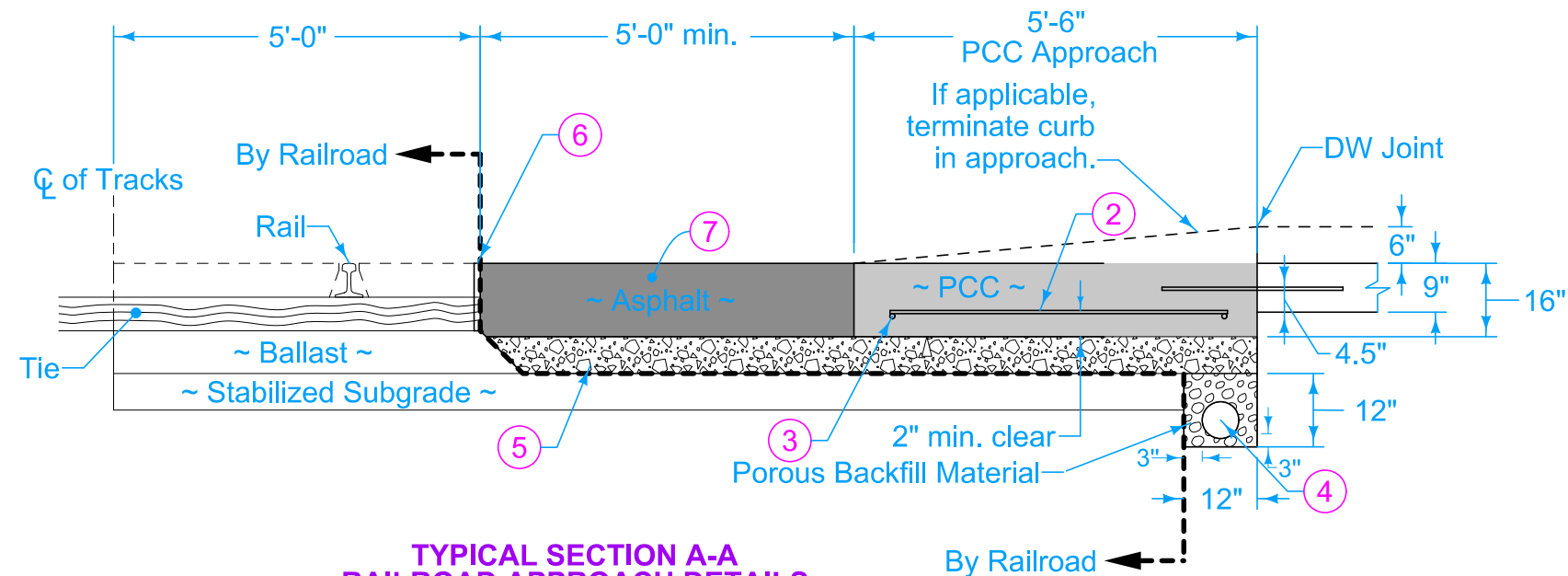
ROADWAY PAVEMENT
MARKING AND SIGNING



FILE NO.	ENGLISH	DESIGN TEAM Iowa DOT / HNTB	WOODBURY COUNTY	PROJECT NUMBER IMN-029-6(170)139--0E-97	SHEET NUMBER U.6
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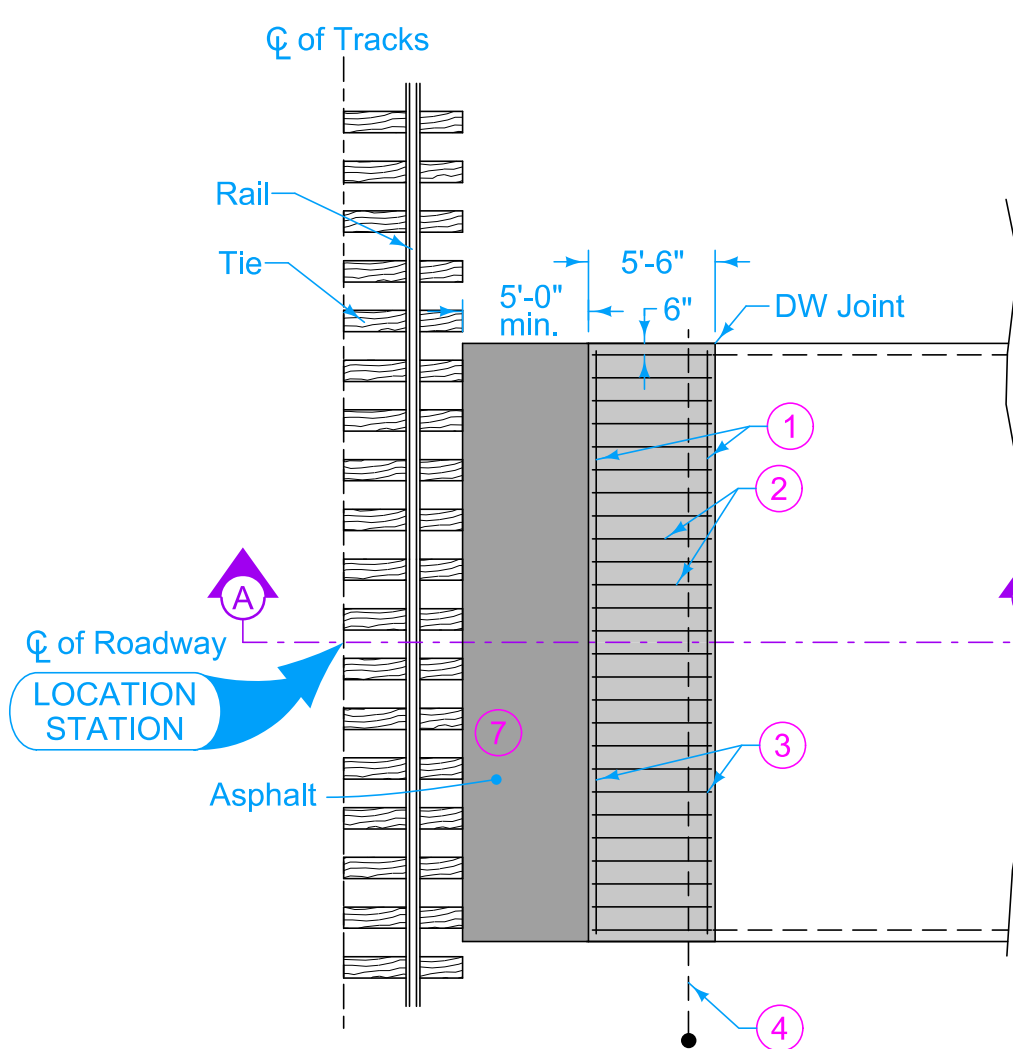


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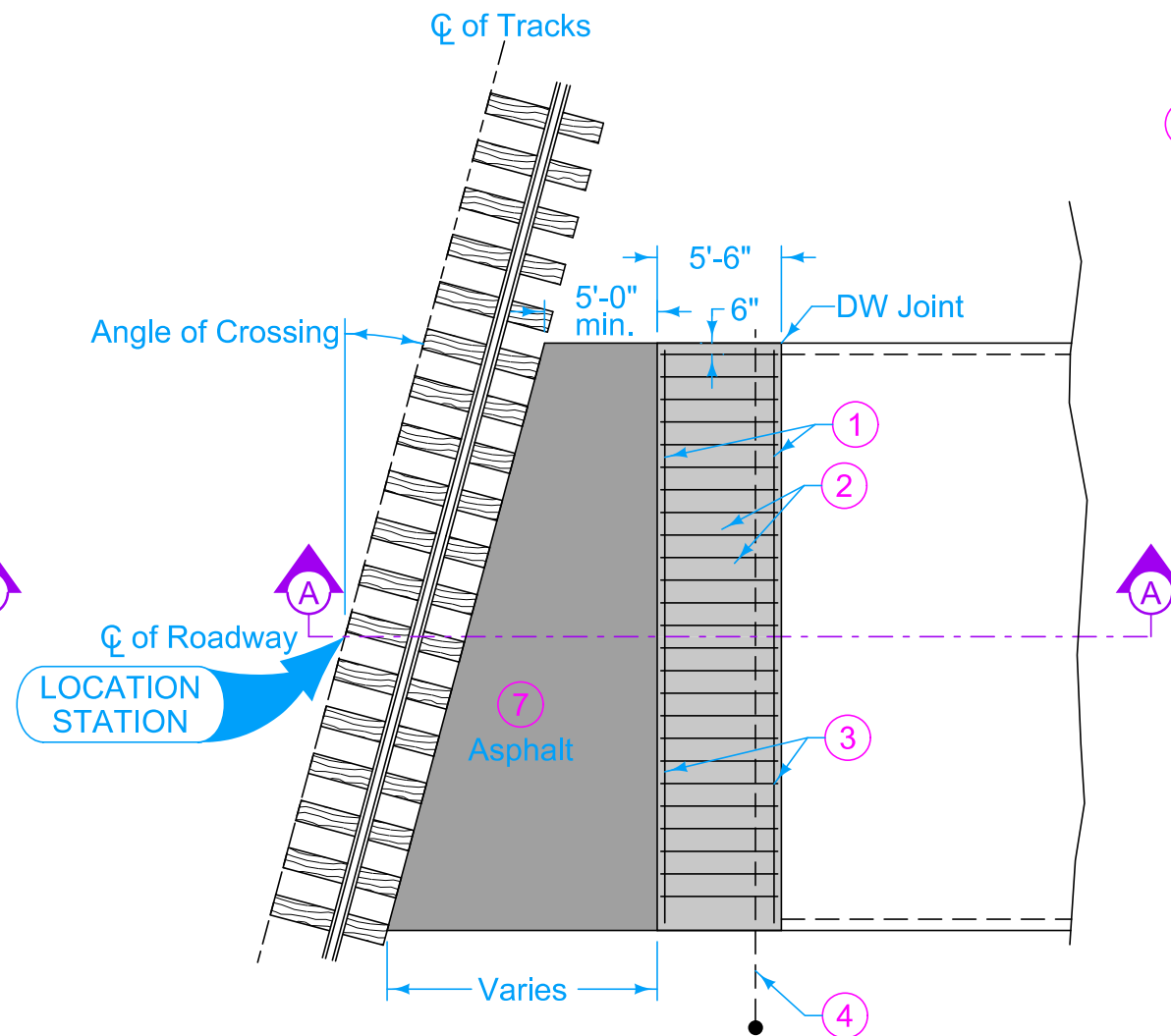


TYPICAL SECTION A-A
RAILROAD APPROACH DETAILS

- ① Tie reinforcing bars with wire at all intersections with other bars. Lap reinforcing bars a minimum of 12 inches when necessary and tie securely.
- ② 5 foot 2 inch (typ.) #5 bar or pavement length minus 4 inches, at 12 inches on center.
- ③ #5 bars X (approach width minus 4 inches).
- ④ Install 6 inch perforated CMP subdrain (See DR-303 and DR-306). Include rodent guard per Iowa DOT Materials I.M. 443.01.
- ⑤ Modified subbase or ballast meeting railroad specifications.
- ⑥ For new crossings, construct pavement 1/2 inch to 1 inch below top of rail. For existing crossings, construct pavement level to 1/2 inch below top of rail.
- ⑦ 16 inch approach thickness includes thickness of HMA resurfacing.



TYPICAL HALF PLAN - STRAIGHT CROSSING

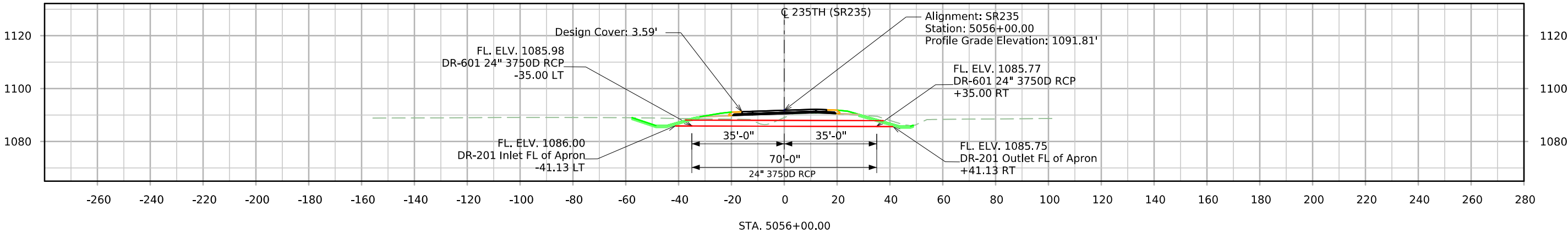


TYPICAL HALF PLAN - SKEWED CROSSING

MODIFIED		
STANDARD ROAD PLAN		PV-204
MODIFICATIONS: Changed 5'-6" HMA to 5' min. Added 5'-6" PCC Approach.		SHEET 1 of 1
HMA RAILROAD APPROACH SECTION		

235th Street

Lay 70ft 24" 3750D RCP with DR-201 apron on Inlet and DR-201 on outlet. Install culvert and aprons during Stage 2A.



DRAINAGE DESIGN

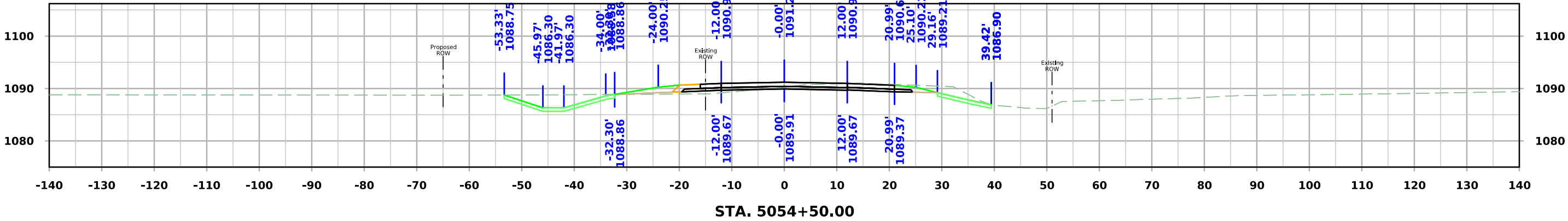
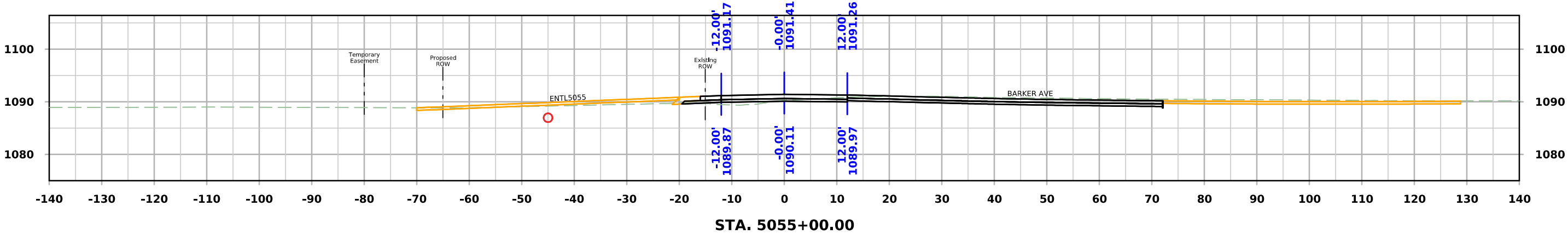
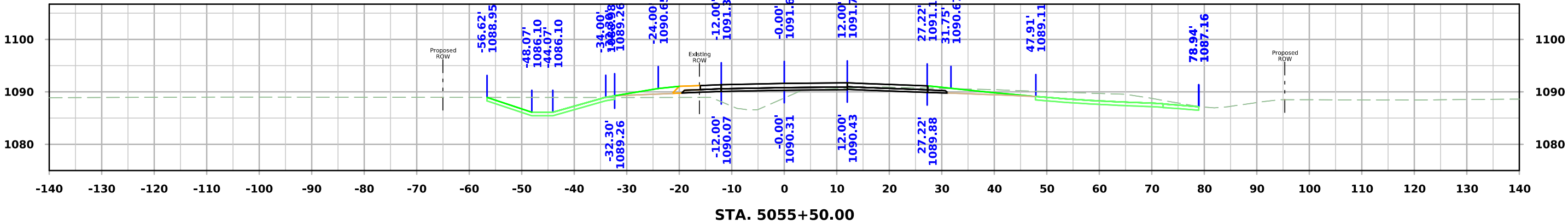


I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

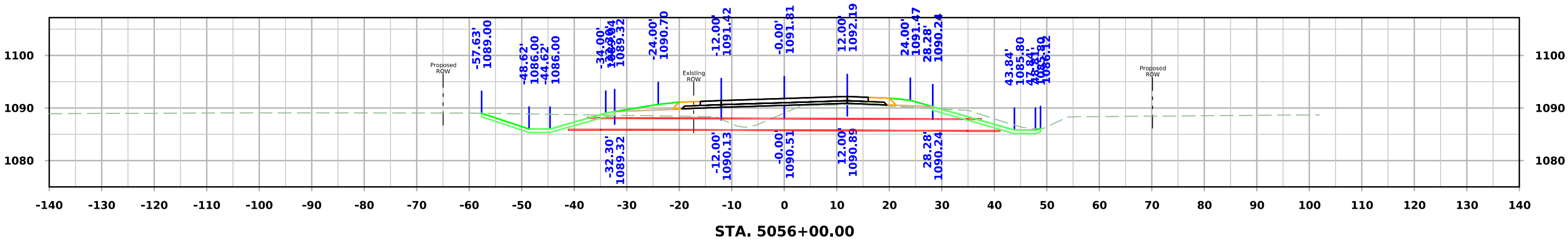
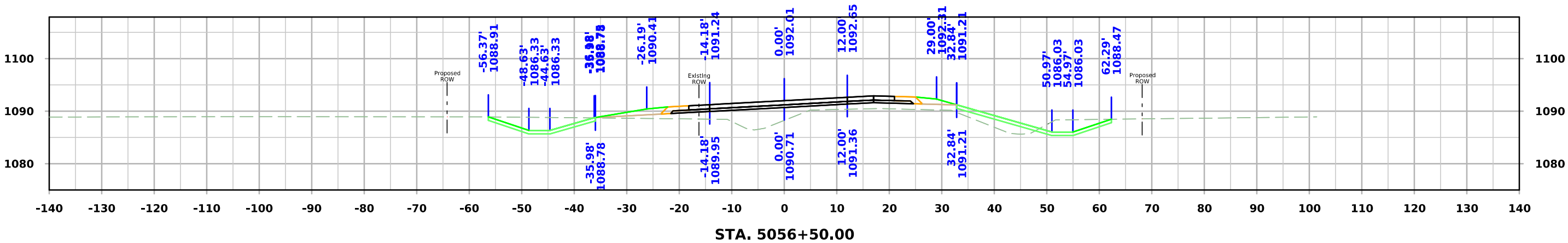
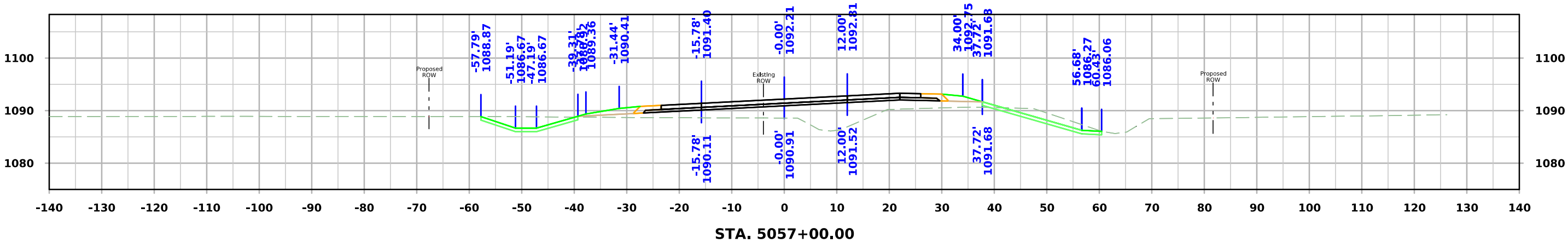
Signature Heidi Lane, PE Date _____
Printed or Typed Name
My license renewal date is December 31, 2025

Pages or sheets covered by this seal: VX.1

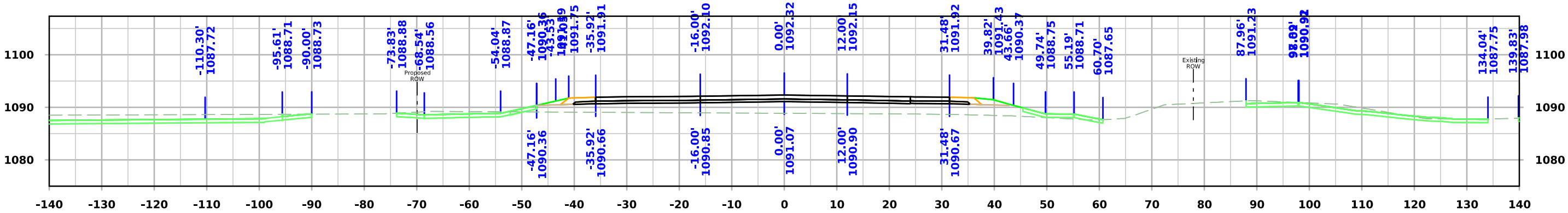
235th Street



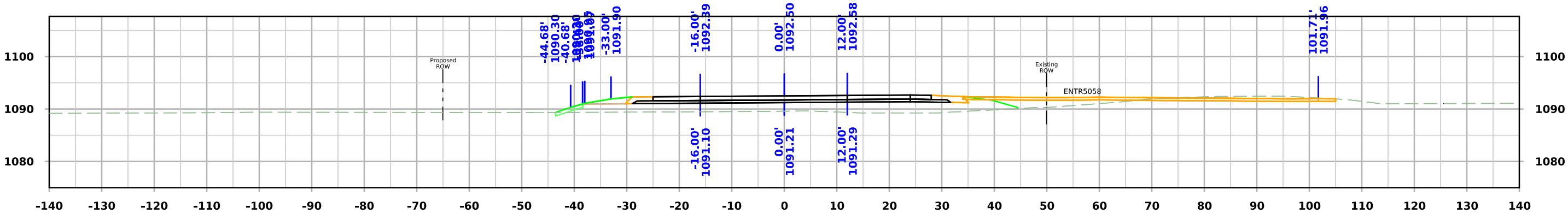
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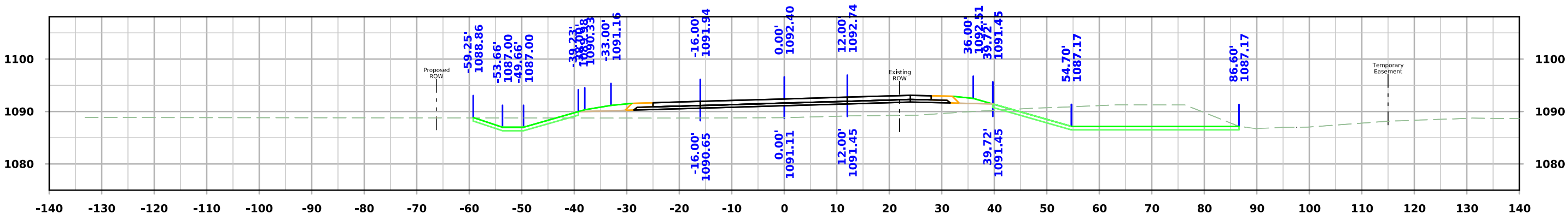
235th Street



STA. 5058+50.00

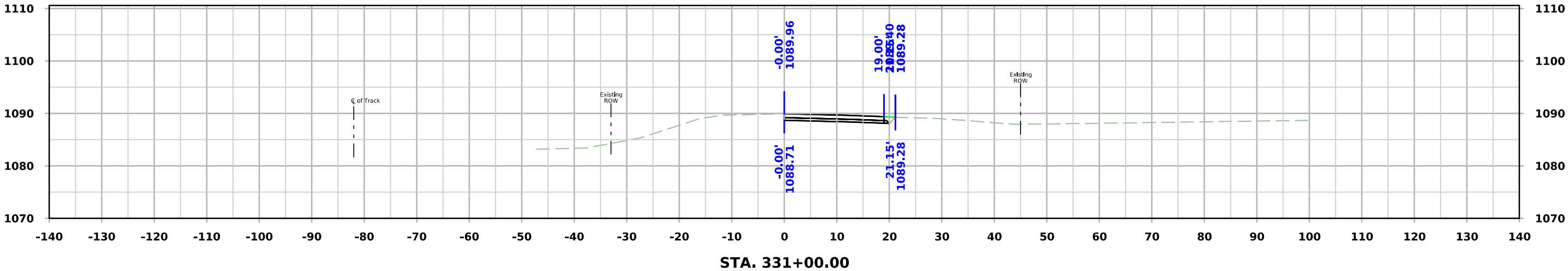
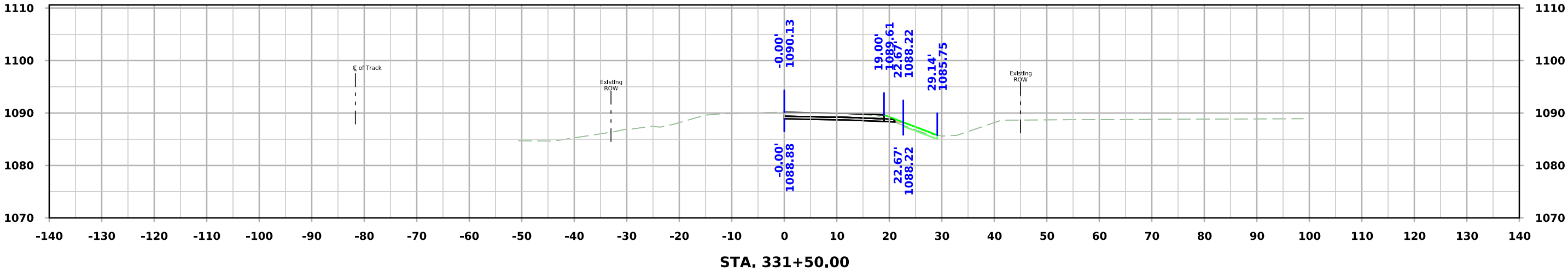


STA. 5058+00.00

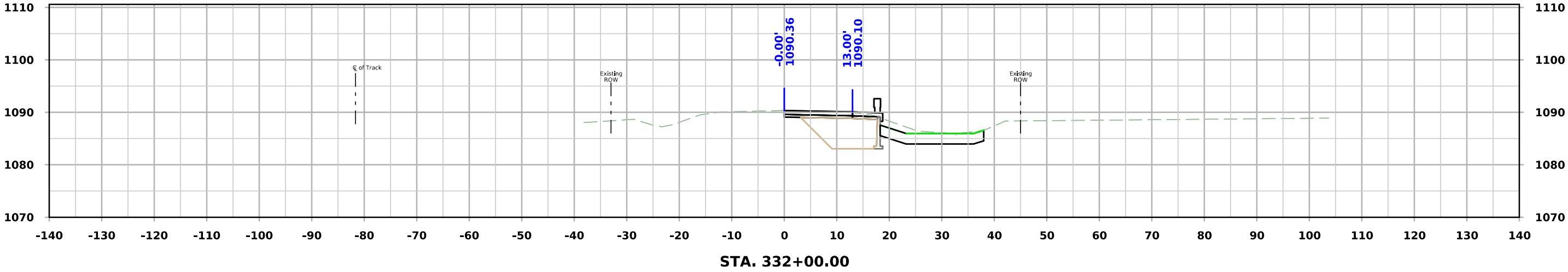
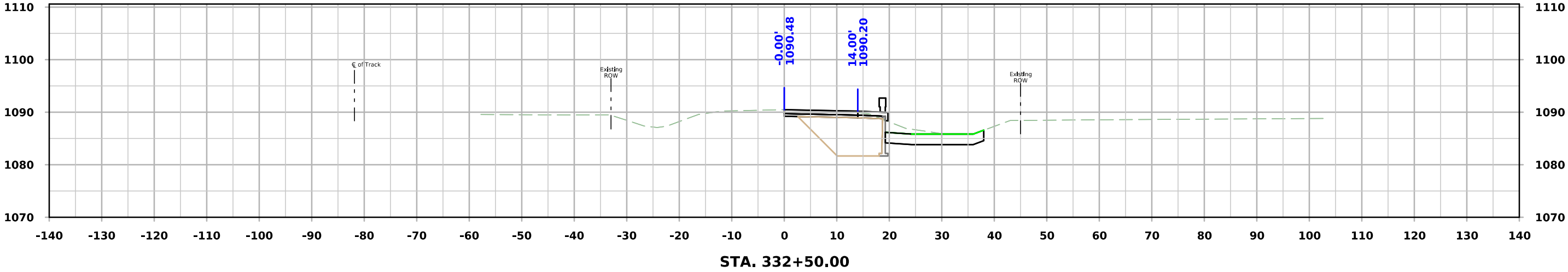


STA. 5057+50.00

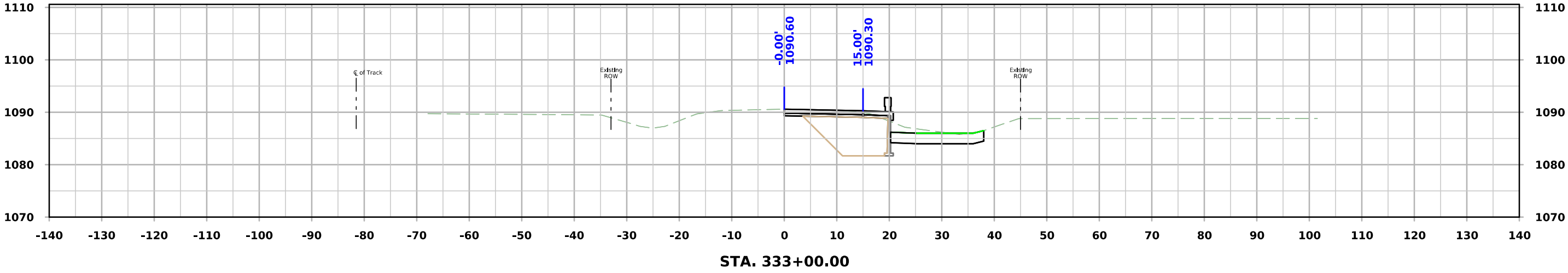
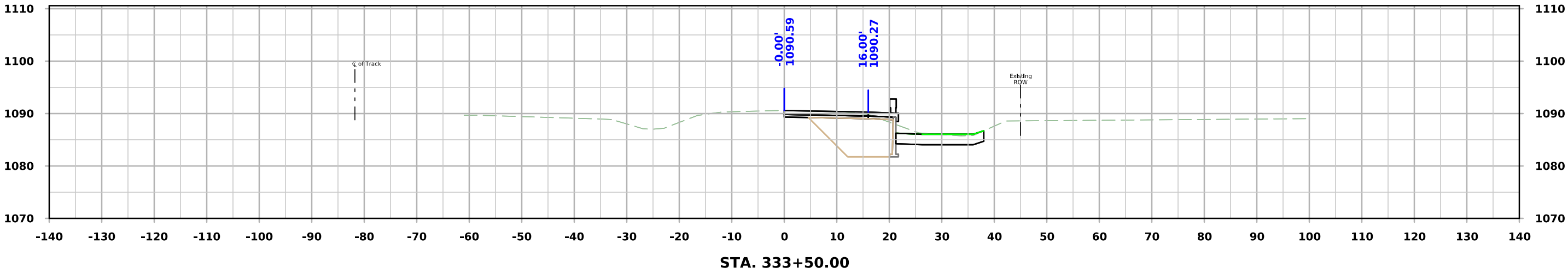
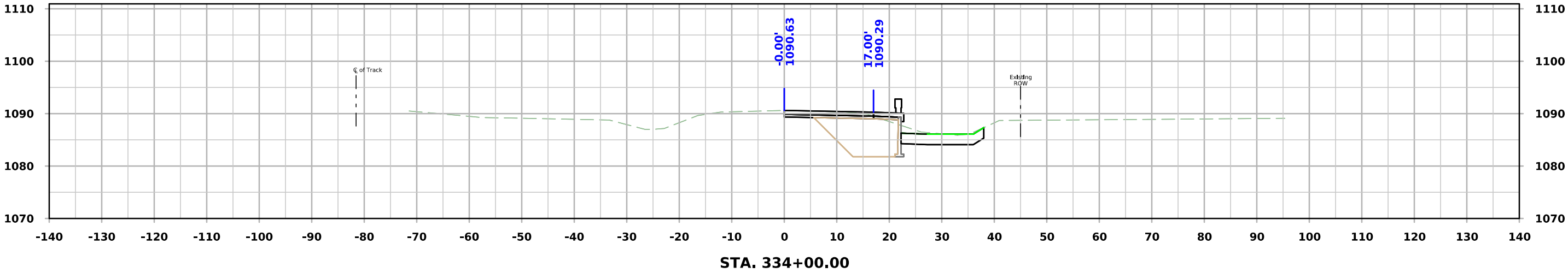
Old US 75



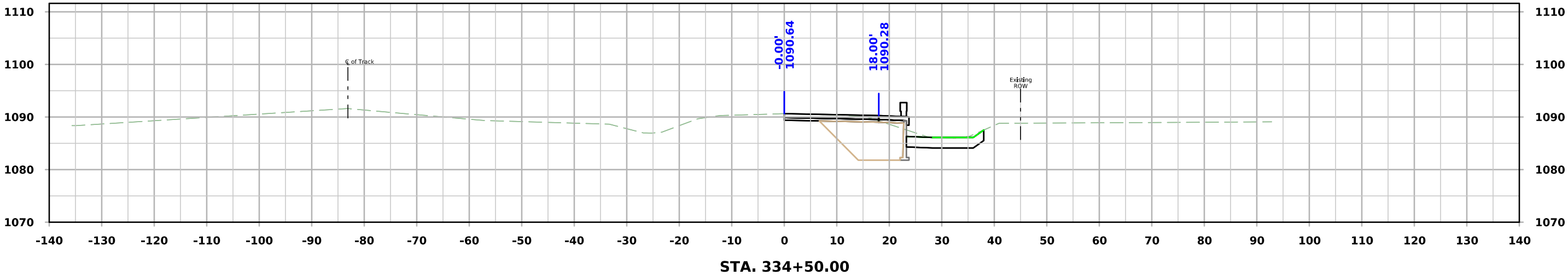
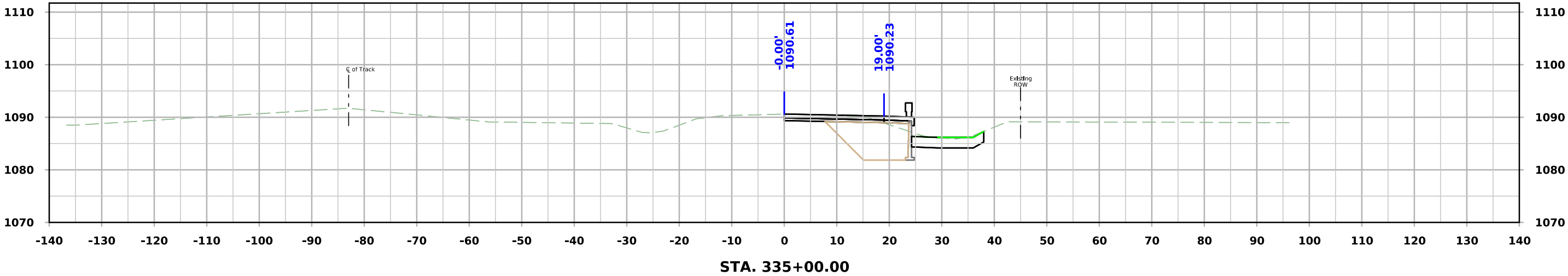
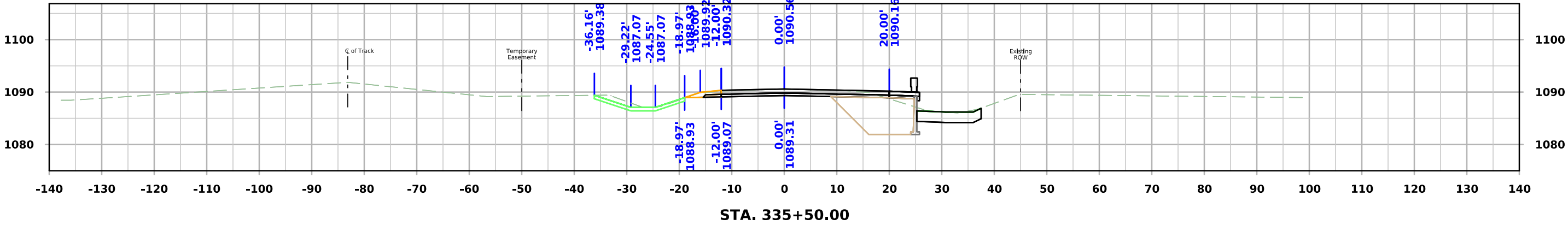
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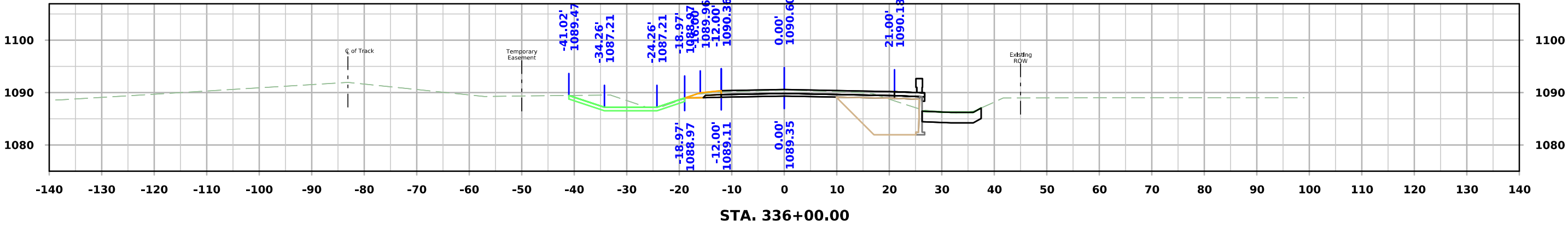
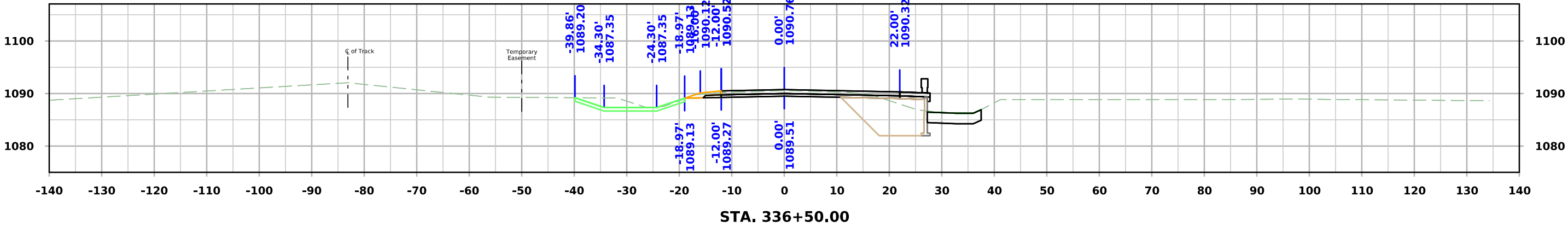
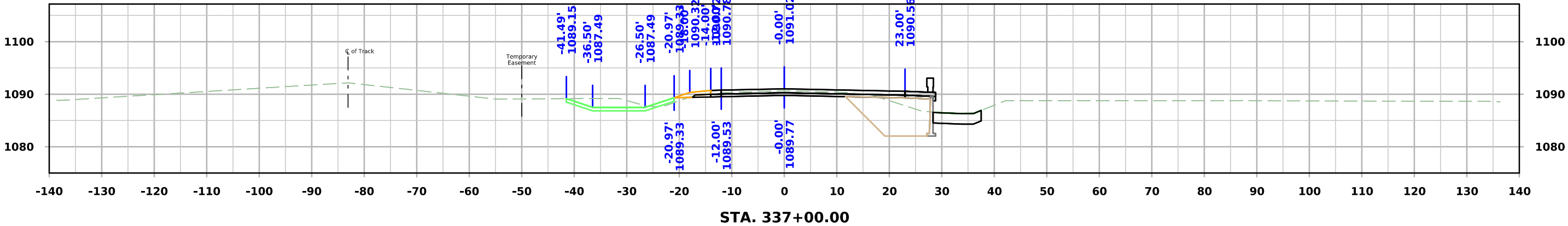
Old US 75



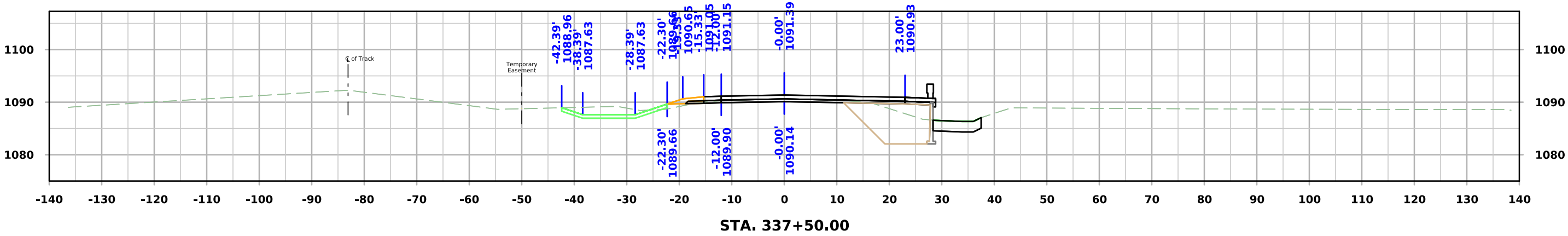
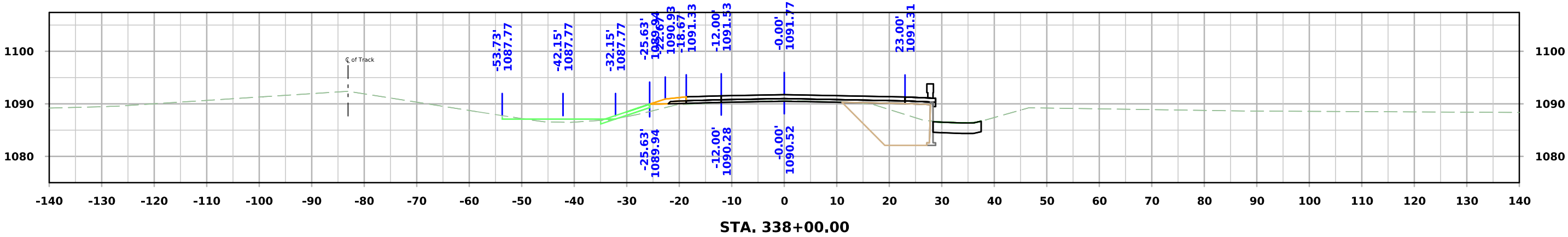
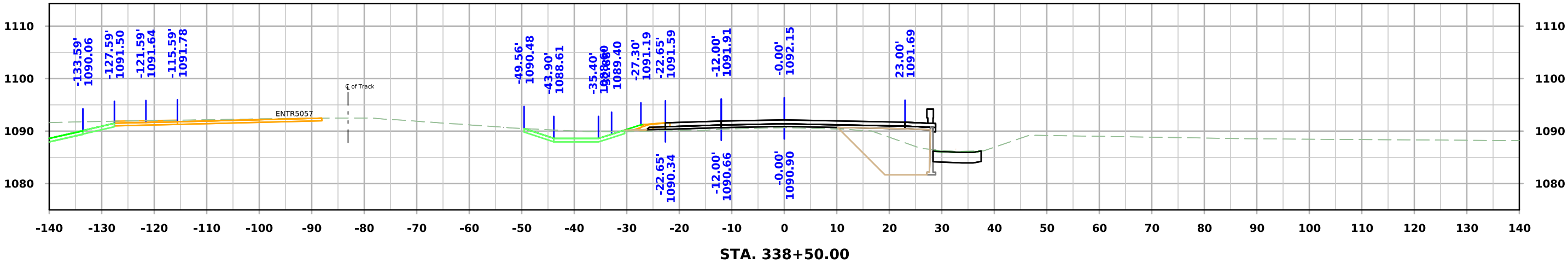
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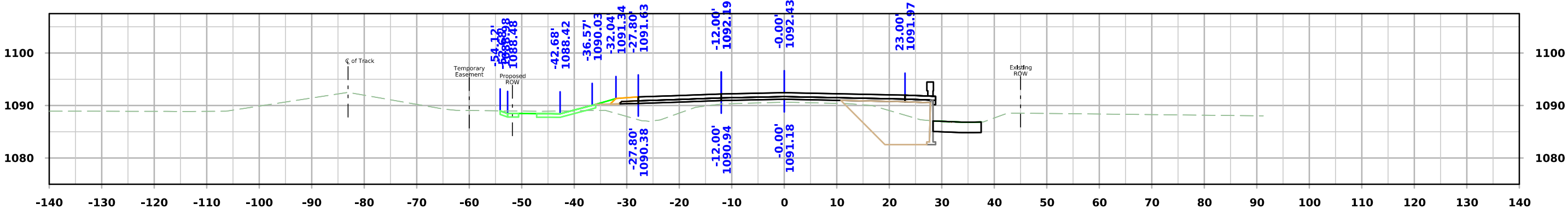
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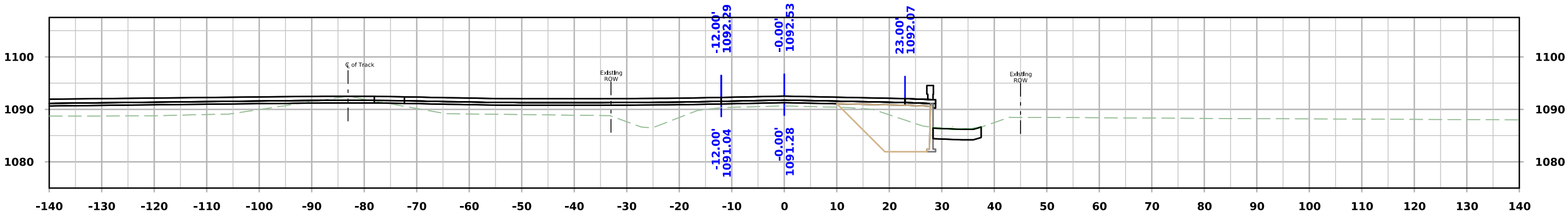
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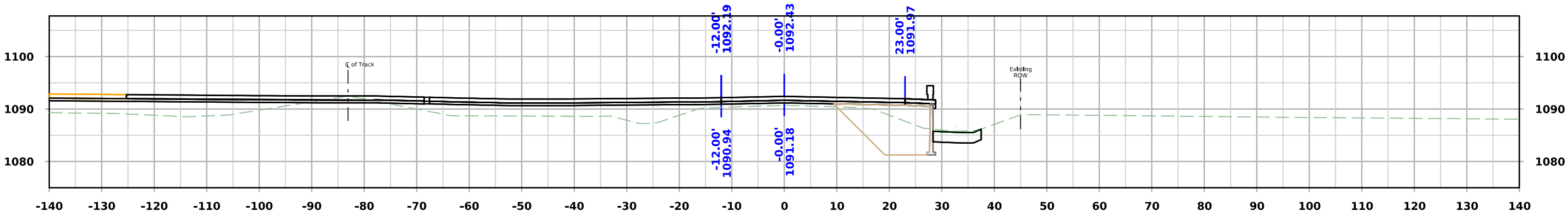
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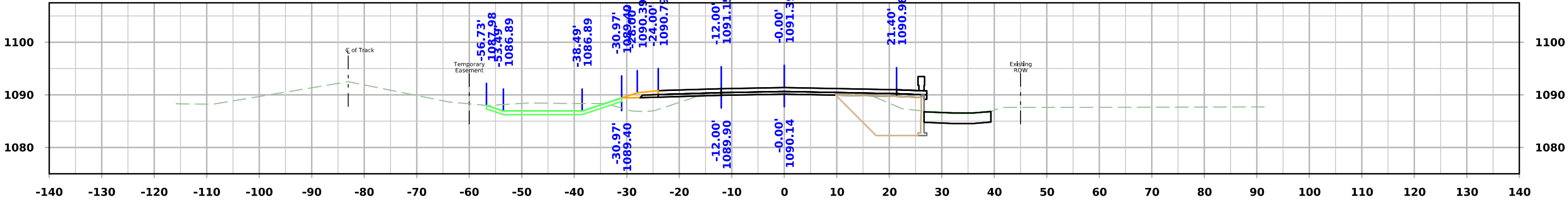


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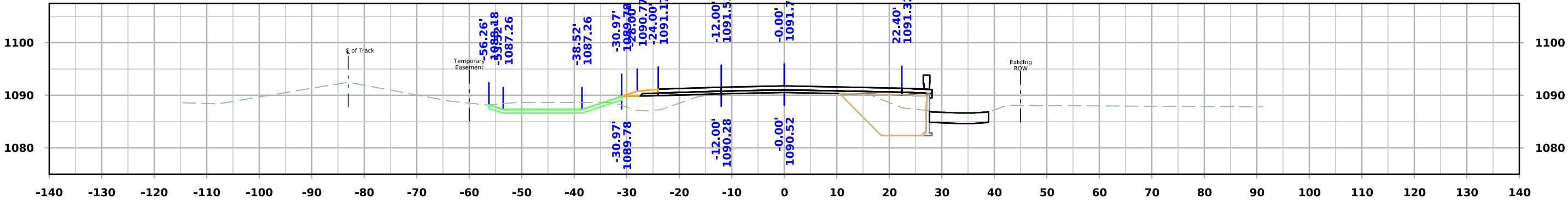


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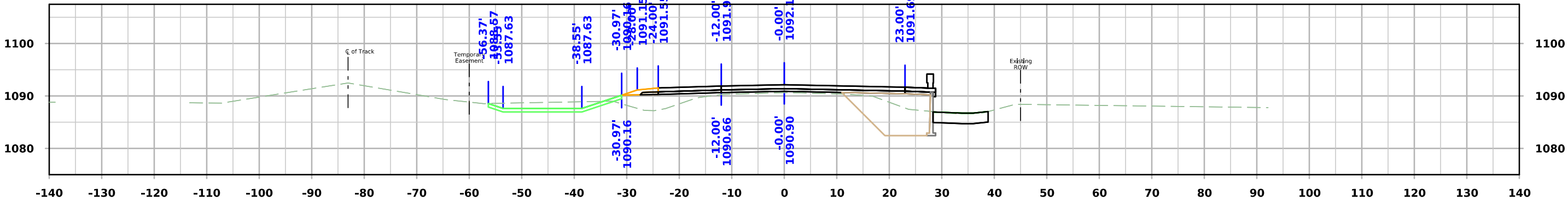
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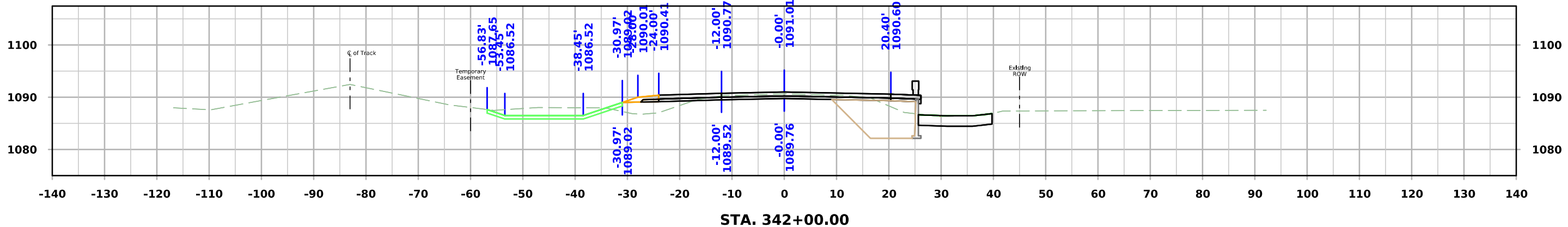
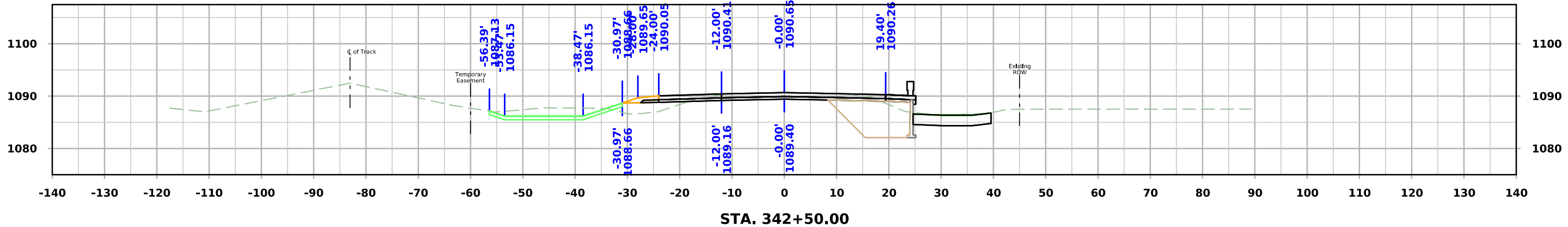
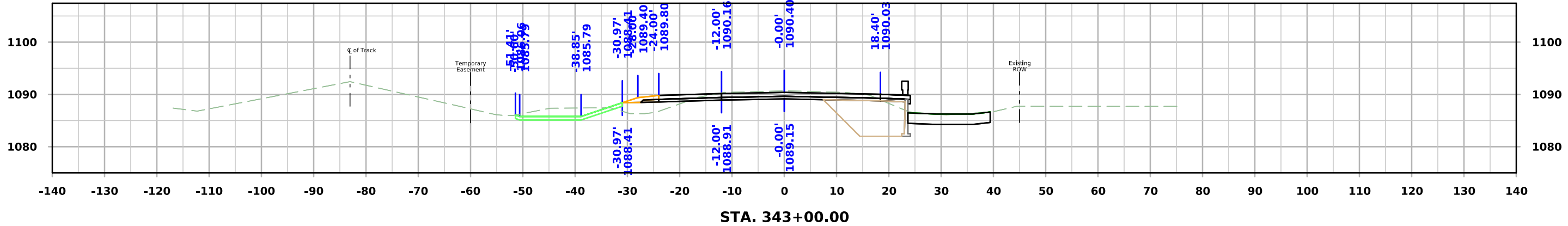


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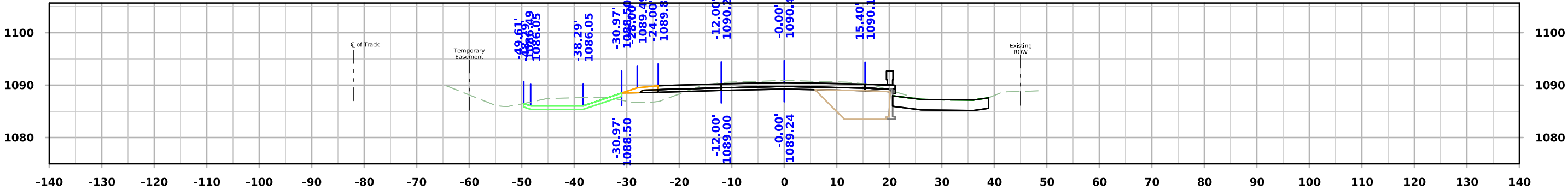


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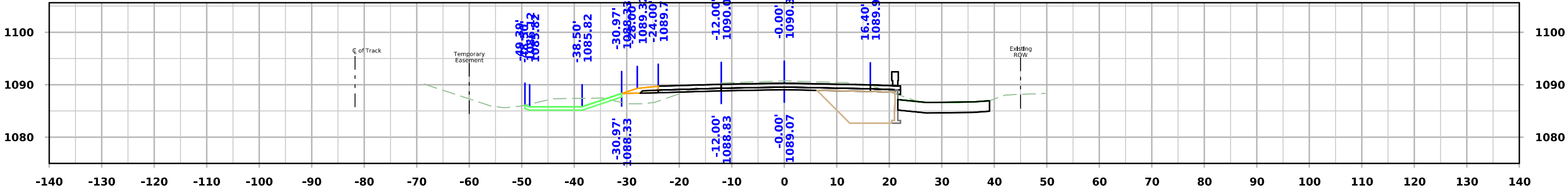
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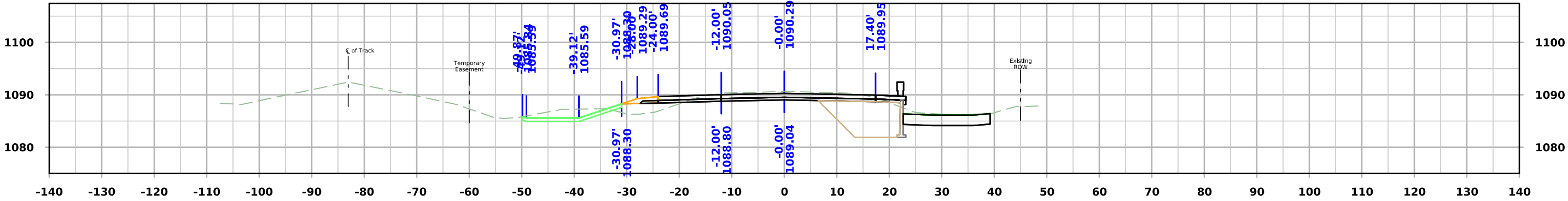
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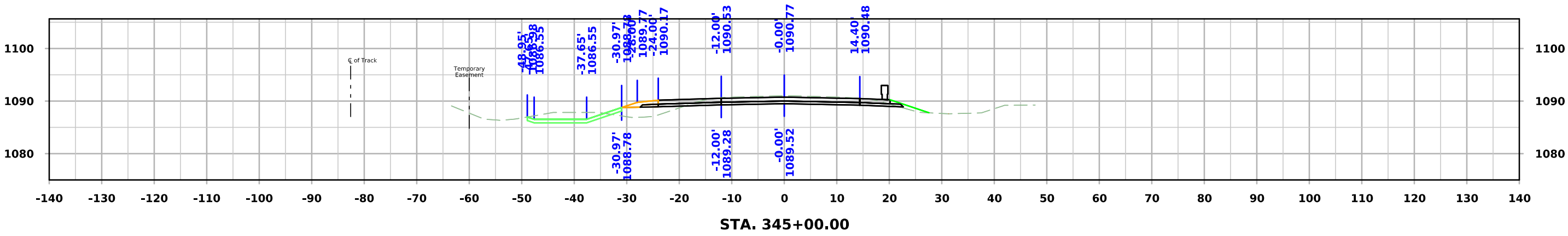
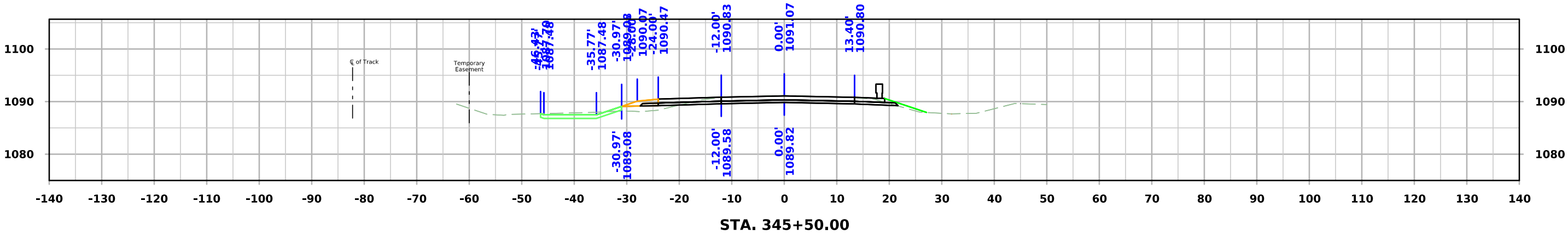
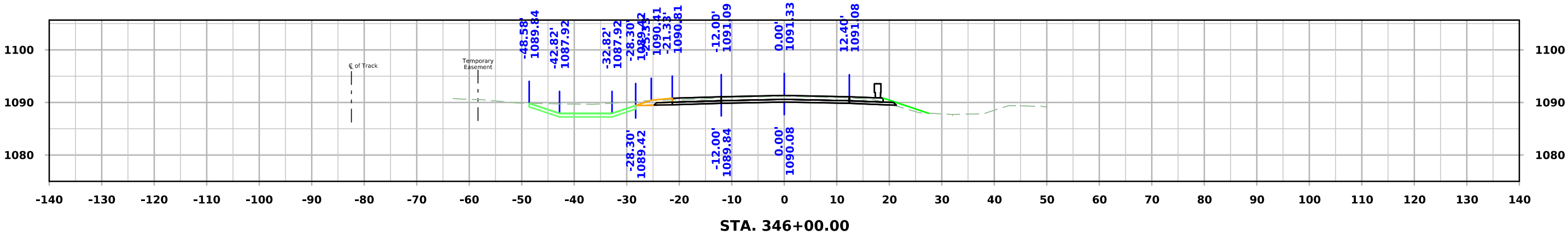


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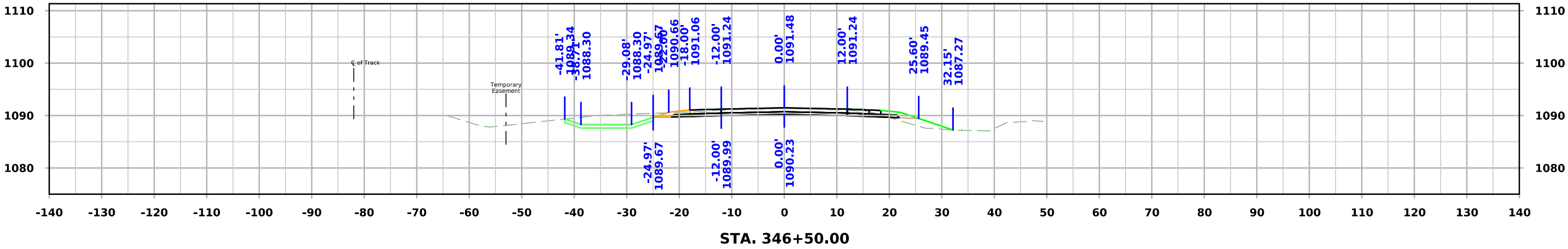
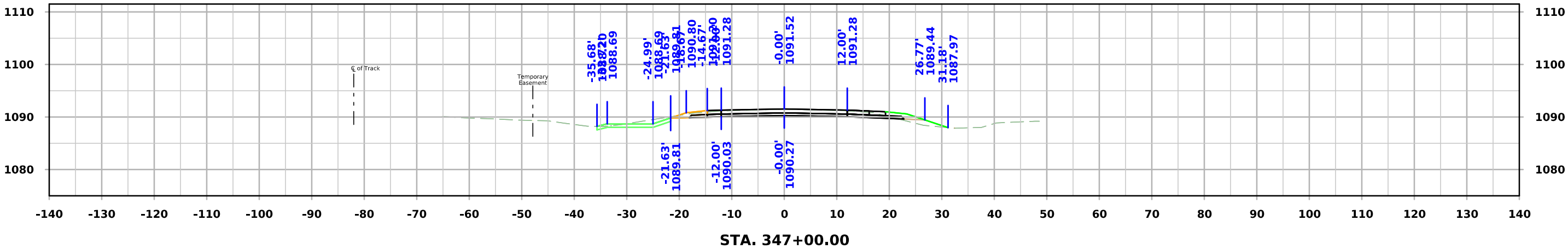
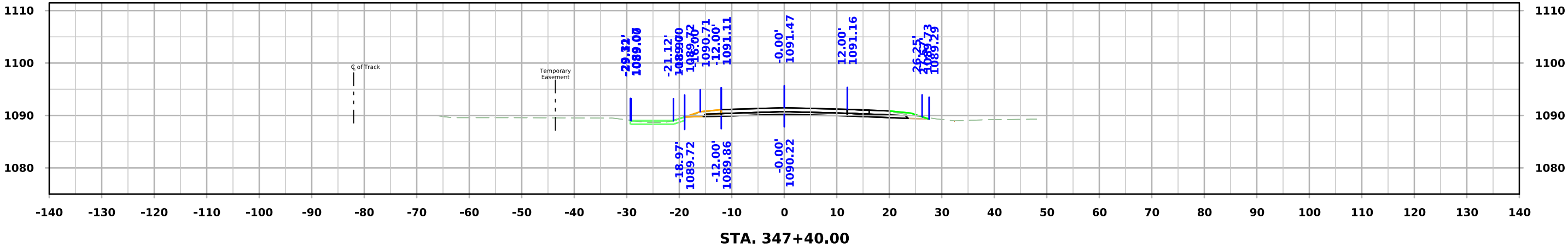


EXHIBIT B

DEVELOPMENT SPECIFICATIONS

DS-23066
(Replaces DS-23064)



**DEVELOPMENTAL SPECIFICATIONS
FOR
CONSTRUCTION OR MAINTENANCE WORK ON RAILROAD RIGHT-OF-WAY
(UNION PACIFIC RAILROAD)**

**Effective Date
November 19, 2024**

THE STANDARD SPECIFICATIONS, SERIES 2023, ARE AMENDED BY THE FOLLOWING MODIFICATIONS AND ADDITIONS. THESE ARE DEVELOPMENTAL SPECIFICATIONS AND THEY PREVAIL OVER THOSE PUBLISHED IN THE STANDARD SPECIFICATIONS.

23066.01 DESCRIPTION.

- A.** This specification applies to projects on the Interstate, Primary, Secondary, and Local Road systems involving construction or maintenance of roadways and structures involving the Union Pacific Railroad (UPRR).
- B.** This specification describes the following:
 - Requirements when work is within the Right-of-way (ROW) or properties of the UPRR and adjacent to tracks, wire lines, and other facilities.
 - Coordination with UPRR when work by the Contractor will be performed upon, over, or under the UPRR ROW, or may impact current or future UPRR operations.
- C.** The UPRR representative will be the person or persons identified by the UPRR Manager of Industry and Public Projects to handle specific tasks related to the project. The UPRR Representative will be identified in the Contractor Endorsement provided following award of the contract. Any issues prior to receipt of the Contractor Endorsement can be directed to Alex Fiorini, AFiorini@benesch.com, 612-391-9572.
- D.** Prior to advertising the project for letting, the Contracting Authority will negotiate and obtain an agreement with UPRR for work on UPRR ROW. Contractor is required to execute and return the Railroad's Contractor Endorsement following award of the contract. Contractor shall pay to Railroad upon execution of the Contractor Endorsement the administrative fee of \$2,200.00.
- E.** Contractor shall provide track protection for all equipment operating within 25 feet from nearest rail.

23066.02 REQUESTS FOR INFORMATION.

Requests for information involving work within UPRR ROW shall be in accordance with procedures listed in the contract documents. Requests shall be submitted to the Engineer. Engineer will forward request to UPRR as necessary.

23066.03 RAILROAD FLAGGING.

A. Flagging and Notification.

1. Contractor shall notify the UPRR and Engineer at least 45 working days in advance of the commencement of work and at least 10 working days in advance of proposed performance of work by the Contractor in which person(s) or equipment will be within 25 feet of any track, or near enough to any track that any equipment extension (such as, but not limited to, a crane boom) will reach to within 25 feet of any track. This notice shall include the following:
 - Project Number
 - Contractor's name
 - Date flagging is needed
 - Location of flagging services to be provided
 - Duration of flagging
2. No work shall be performed, and no person, equipment, machinery, tools, materials, vehicles, or things shall be located, operated, placed, or stored within 25 feet of any of UPRR's track at any time, for any reason, unless and until a railroad flagger is provided to watch for trains.
3. Upon receipt of such 10 day notice, the UPRR will determine and inform the Contractor whether a flagger need be present and whether the Contractor need implement any special protective or safety measures. If flagging or other special protective or safety measures are performed by the UPRR, such services will be provided at Contractor's expense with the understanding that if the UPRR provides any flagging or other services, the Contractor shall not be relieved of any of its responsibilities or liabilities set forth herein. The Contractor shall pay the UPRR all charges connected with such services within 30 calendar days after presentation of a bill.
4. Work performed without proper flagging services, when required, will be subject to a \$5,000 per day price adjustment.
5. Contractor shall provide the UPRR a minimum of 5 working days notice prior to the completion of work for which the flagging services were requested.

B. Flagger Rate of Pay.

The rate of pay per hour for each flagger will be the prevailing hourly rate in effect for an 8 hour day for the class of worker used during regularly assigned hours and overtime in accordance with Labor Agreements and Schedules in effect at the time the work is performed. In addition to the cost of such labor, a composite charge for vacation, holiday, health and welfare, supplemental sickness, Railroad Retirement and UC, supplemental pension, Employee, Liability and Property Damage, and Administration will be included, computed on actual payroll. The composite charge will be the prevailing composite charge in effect on the day of execution of the agreement between the UPRR and the Contracting Authority. One and one-half times the current hourly rate is paid for overtime, Saturdays and Sundays; two and one-half times current hourly rate for holidays. Wage rates are subject to change, at any time, by law or by agreement between the UPRR and its employees, and may be retroactive as a result of negotiations or a ruling of an authorized Governmental Agency. Additional charges on labor are also subject to change. If the wage rate or additional charges are changed, the Contractor shall pay based on the new rates and charges.

C. Reimbursement to the UPRR.

1. Reimbursement to the UPRR, by the Contractor, shall cover the full 8 hour day during which

any flagger is furnished, unless they can be assigned to other UPRR work during a portion of such day. Reimbursement will not be required for the portion of the day during which the flagger is engaged in other UPRR work. Reimbursement will also be required for any day not actually worked by said flagger following assignment to work on the project for which the UPRR is required to pay the flagger and which could not reasonably be avoided by the UPRR by assignment of such flagger to other work, even though the Contractor may not be working during such time.

2. In the event the Contractor fails to reimburse the UPRR, the Contracting Authority will reimburse the UPRR within 30 calendar days of the Contractor defaulting on the payment (default is defined as non-payment within 30 calendar days of final billing by the UPRR to the Contractor). Failure of the Contractor to reimburse the UPRR may result in a reduction or suspension of the Contractors bidding qualifications according to [Article 1102.03](#) of the Standard Specifications.

D. Documentation and Reimbursement to the Contractor.

1. The Contractor shall initially pay UPRR invoices for all flagging costs in conjunction with railroad flaggers when any of the conditions identified in Article DS-23066.03, warrant a flagger. The Contracting Authority will reimburse the Contractor for any daily cost that exceeds \$1400 per day for the cost of flagger services provided by the UPRR. The Contracting Authority will reimburse the Contractor 100% of the total cost of flagger services, as deemed necessary by the UPRR, that does not meet any of the conditions identified in Article DS-23066.03, unless the flagger's presence on the project was a result of the Contractor's communication, or lack of communication, with the UPRR. The Contracting Authority will reimburse the Contractor following completion of all work necessitating flagging operations by the UPRR and receipt of documentation verifying the UPRR invoices have been paid.
2. For each day that railroad flaggers have been provided, the Contractor shall document daily the conditions on the project site that warrant the flagger. The Contractor shall submit the daily records to the Engineer each week. The Engineer will review the daily logs and promptly notify the Contractor if any information in the daily log is believed to be incorrect.
3. The Contractor shall forward copies of the invoices received from the UPRR for flaggers and a summary of the flagging costs incurred that exceed the Contractors' requirements described in Article DS-23066.03, to the Engineer with a request for payment for the additional railroad flagger costs. The Engineer will review the Contractor's daily logs against the UPRR's invoice and make payment for the eligible costs in accordance with [Article 1109.03](#) of the Standard Specifications.
4. The Contractor shall be responsible to the UPRR for all flagging costs. Flagging costs for subcontracted work shall be the responsibility of the Contractor. Reimbursement from subcontractors to the Contractor shall be the sole responsibility of the Contractor.
5. The Contractor shall forward, to the Engineer, copies of payments made to the UPRR for flagging costs.
6. The Contracting Authority may award multiple contracts for work in the same general area. The Contractor shall try to stage work to minimize the need for railroad flaggers. In the event of multiple projects in a location, the Contractor initially requiring flagging on a daily basis shall be responsible for all flagging costs for that day.

23066.04 CONSTRUCTION AND AS-BUILT SUBMITTALS.

- A.** Submittals are required for construction materials and procedures as outlined below. The submittals shall include all review comments from the Engineer. All design submittals shall be stamped and signed by a Professional Engineer registered in the State of Iowa.
- B.** The tables below provide UPRR's minimum submittal requirements for the construction items noted. Submittal requirements are in addition to those specified elsewhere in the contract documents. The minimum review times indicated below represent UPRR's requirements only. The Contractor shall allow additional time for the UPRR's review time as stated elsewhere in the contract documents.
- C.** For this specification the following definitions shall apply:
- **Overpass:** when the roadway bridges over the railroad.
 - **Underpass:** when the roadway crosses under the railroad.
- D.** Submittals will be made by the Engineer to the UPRR. Items in Table DS-23066.04-1 shall be submitted for both railroad overpass and underpass projects, as applicable. Items in Table DS-23066.04-2 shall be submitted for underpass projects only.

Prior to or during construction of underpass structures, the UPRR requires the review of drawings, reports, test data, and material data sheets to determine compliance with the specifications. Product information for items noted in Table DS-23066.04-2 shall be submitted to UPRR through the Engineer for their review and approval. The signed submittal and the Engineer's review comments will be reviewed by UPRR. Review of the submittals will not be conducted until after review by the Engineer.

Table DS-23066.04-1: Format and Minimum Time for Review

Description	Format	UPRR's Minimum Review Time
Construction Phasing Plans	.PDF	4 weeks
Erosion Control details	.PDF	4 weeks
Shoring design and details	.PDF	4 weeks
Falsework design and details	.PDF	4 weeks
Drainage design provisions	.PDF	4 weeks
Erection diagrams and sequence	.PDF	4 weeks
Demolition diagram and sequence	.PDF	4 weeks

Table DS-23066.04-2: Format

Description	Format	Notes
Construction Material Certifications	.PDF	
Test reports for Fracture Critical Members	.PDF	
Shop drawings	.PDF	Steel and Concrete members
Bearings	.PDF	For entire structures
Concrete Mix Designs	.PDF	For entire structures
Rebar & Strand certifications	.PDF	For superstructure only
28 day concrete strength	.PDF	For superstructure only
Waterproofing material certifications and installation procedure	.PDF	Waterproofing & protective boards
Structural steel certifications	.PDF	All fracture critical members & other members requiring improved notch toughness

Fabrication and Test reports	.PDF	All fracture critical members & other members requiring improved notch toughness.
Welding Procedures and Welder Certification	.PDF	AWS requirements
Foundation Construction Reports	.PDF	Pile driving, drilled shaft construction, bearing pressure test reports for spread footings.
Compaction testing reports for backfill at abutments	.PDF	Must meet 95% maximum dry density, Modified Proctor ASTM D 1557.

- E.** As-Built Records will be submitted to the UPRR within 1 year of completion of the structures. These records shall consist of the following items:

1. Overpass Projects.

Electronic files of structure design drawings with as-constructed modifications shown in a reproducible electronic file format.

2. Underpass Projects.

- Electronic files of structure design drawings with as-constructed modifications shown in a reproducible electronic file format.
- Final approved copies of shop drawings for concrete and steel members.
- Foundation Construction Reports.
- Compaction testing reports for backfill at abutments.

23066.05 SITE INSPECTIONS BY THE UPRR.

- A.** Site inspections may be performed by the UPRR at significant points during construction, including but not limited to the following:
- Preconstruction meetings
 - Pile driving, drilling of caissons or drilled shafts
 - Reinforcement & concrete placement for railroad bridge substructure or superstructure
 - Erection of precast concrete or steel bridge superstructure
 - Placement of waterproofing (prior to placing ballast on bridge deck)
 - Completion of the bridge structure
- B.** A detailed construction schedule, including the proposed temporary horizontal and vertical clearances and construction sequence for all work to be performed, shall be provided to the Engineer for submittal to the UPRR for review prior to commencement of work. This schedule shall also include the anticipated dates when the above listed events will occur. This schedule shall be updated for the above listed events as necessary, but at least monthly so that site visits may be scheduled.

23066.06 UPRR REPRESENTATIVES.

- A.** UPRR representatives will be provided at the expense of the Contractor to protect UPRR facilities, property, and movements of its trains or engines. In general, UPRR will furnish such personnel or other protective services as follows:
- When any part of any equipment is standing or being operated within 25 feet, measured horizontally, from any track on which trains may operate, or when any object is off the ground and any dimension thereof could extend inside the 25 foot limit, or when any erection or construction activities are in progress within such limits, regardless of elevation above or below track.
 - For any excavation below elevation of track subgrade if, in the opinion of UPRR, track or other UPRR facilities may be subject to settlement or movement.

- During any clearing, grubbing, excavation, or grading in proximity to UPRR facilities, which, in the opinion of UPRR, may endanger UPRR facilities or operations.
- During the Contractor's operations when, in the opinion of UPRR, UPRR facilities, including, but not limited to, tracks, buildings, signals, wire lines, or pipe lines, may be endangered.

B. The Contractor shall arrange with the UPRR to provide the adequate number of flag person to accomplish the work.

23066.07 INSURANCE.

A. Before the contract is awarded, Contractor shall submit to the Department a certificate of insurance evidencing the coverage. The certificate shall identify the insurance company firm name and address, Contractor firm name, policy period, type of policy, limits of coverage, and scope of work covered (including project number). Policies shall provide no less than 30 calendar days prior written notice to Contracting Authority and Railroad of cancellation or material change in policies. Following award of the Contract, the Contractor shall submit a certificate of insurance evidencing the foregoing coverage to the Railroad and Contracting Authority (if other than the Department), and a certified, true, and complete copy of policy or policies to the Contracting Authority and Railroad. Upon request from either the Contracting Authority or Railroad, a certified duplicate original of any required certificate or policy shall be furnished at no cost to the Contracting Authority or Railroad. The Contractor shall not begin work upon or over UPRR's ROW until the UPRR has notified the Engineer that such insurance provisions are in accordance with the contract documents. The insurance shall be kept in full force and effect during the performance of work and thereafter until the Contractor removes all tools, equipment, and material from UPRR's property and cleans the premises in a manner reasonably satisfactory to UPRR.

B. In addition to providing to UPRR the insurance binders, endorsements, and certificates described below, the Contractor shall also provide the subcontractor insurance endorsements that are described in Article DS-23066.08.

C. The Contractor shall provide the following kinds of insurance:

1. Railroad Protective Insurance.

- a.** The Contractor shall provide for and on behalf of the Railroad, Railroad Protective Insurance as stated in the Code of Federal Regulations, Title 23, Part 646, and any revisions thereto issued by the Federal Highway Administration for damages due to bodily injury or death of persons, and injury to or destruction of property resulting from the operations of the Contractor, subcontractors, or their agents, officers, or employees on this project.
- b.** Railroad Protective Liability Insurance is required if there is any construction or demolition activities. This insurance shall name only the Railway as the Insured with coverage of at least \$2,000,000 per occurrence and \$6,000,000 in the aggregate. The policy shall be issued on a standard ISO form CG 00 35 10 93 and include the following:
 - Endorsed to include the Pollution Exclusion Amendment (ISO form CG 28 31 10 93) and on ISO form CG 28 31 10 93.
 - Endorsed to include the Limited Seepage and Pollution Endorsement.
 - Endorsed to include Evacuation Expense Coverage Endorsement.
 - No other endorsements restricting coverage may be added.
 - The original policy shall be provided to the Engineer and Railway prior to performing work.
- c.** If available and in lieu of providing a Railroad Protective Liability Policy, the Contractor may participate in the Railroad's Blanket Railroad Protective Liability Insurance Policy available to the Contractor. The limits of coverage are the same as above.
- d.** Contractor shall use the website listed below to acquire Railroad train movement

information for the purpose of obtaining Railroad Protective Liability Insurance:

<http://safetydata.fra.dot.gov/OfficeofSafety/PublicSite/Crossing/Crossing.aspx>

- e. The US DOT Crossing Inventory Number will be located in the project plans. Zero trains per day will be displayed on the crossing inventory report for locations with grade separated crossings or at-grade crossings when there is less than one train per day. In these situations generating a map to find alternative crossing locations may be used to provide the number of trains per day and speed nearest the project location.

2. Commercial General Liability Insurance.

- a. Commercial general liability (CGL) with a limit of not less than \$5,000,000 each occurrence and an aggregate limit of not less than \$10,000,000. CGL insurance shall be written on ISO occurrence form CG 00 01 12 04 (or a substitute form providing equivalent coverage).
- b. The policy shall also contain the following endorsement, which shall be stated on the certificate of insurance:
 - Contractual Liability Railroads ISO form CG 24 17 10 01 (or a substitute form providing equivalent coverage) showing "Union Pacific Railroad Company Property" as the Designated Job Site.
 - Designated Construction Project(s) General Aggregate Limit ISO Form CG 25 03 03 97 (or a substitute form providing equivalent coverage) showing the project on the form schedule.

3. Business Automobile Coverage Insurance.

- a. Business auto coverage written on ISO form CA 00 01 (or a substitute form providing equivalent liability coverage) with a combined single limit of not less \$5,000,000 for each accident.
- b. The policy shall contain the following endorsements, which shall be stated on the certificate of insurance:
 - Coverage For Certain Operations In Connection With Railroads ISO form CA 20 70 10 01 (or a substitute form providing equivalent coverage) showing "Union Pacific Property" as the Designated Job Site.
 - Motor Carrier Act Endorsement - Hazardous materials clean up (MCS-90), if required by law.

NOTE: Alternate Liability Insurance Limits: The UPRR will accept Contractor's Commercial General Liability insurance limits of at least \$2,000,000 each occurrence or claim and an aggregate limit of at least \$2,000,000, and will accept Business Automobile Insurance containing a combined single limit of at least \$2,000,000 per occurrence or claim if the Contractor secures Railroad Protective Liability Insurance coverage with a combined single limit of \$5,000,000 per occurrence with a \$10,000,000 aggregate instead of the limits described in [Article 1112.02, B](#), of the Standard Specifications.

4. Workers Compensation and Employers Liability Insurance.

- a. Coverage shall include, but not limited to:
 - The Contractor's statutory liability under the workers' compensation laws of the State of Iowa.
 - Employers' Liability (Part B) with limits of at least \$500,000 each accident, \$500,000 disease policy limit, \$500,000 each employee.
- b. If the Contractor is self-insured, evidence of the State of Iowa's approval and excess workers compensation coverage shall be provided. Coverage shall include liability arising out of the U. S. Longshoremen's and Harbor Workers' Act, the Jones Act, and the Outer Continental Shelf Land Act, if applicable.
- c. The policy shall contain the following endorsement, which shall be stated on the certificate of insurance:

Alternate Employer endorsement ISO form WC 00 03 01 A (or a substitute form providing equivalent coverage) showing UPRR in the schedule as the alternate employer (or a substitute form providing equivalent coverage).

5. Umbrella or Excess Insurance.

If the Contractor utilizes umbrella or excess policies, these policies shall "follow form" and afford no less coverage than the primary policy.

6. Pollution Liability Insurance.

- a. Pollution liability coverage shall be written on ISO form Pollution Liability Coverage Form Designated Sites CG 00 39 12 04 (or a substitute form providing equivalent liability coverage), with limits of at least \$1,000,000 per occurrence and an aggregate limit of \$2,000,000.
- b. If the scope of work as defined in this contract includes the disposal of any hazardous or non-hazardous materials from the job site, Contractor shall furnish to UPRR evidence of pollution legal liability insurance maintained by the disposal site operator for losses arising from the insured facility accepting the materials, with coverage in minimum amounts of \$1,000,000 per loss, and an annual aggregate of \$2,000,000.

- G. All policy(ies) required above (except worker's compensation and employers liability shall include the UPRR as "Additional Insured" using ISO Additional Insured Endorsements CG 20 26, and CA 20 48 (or substitute forms providing equivalent coverage). The coverage provided to the UPRR as additional insured shall, to the extent provided under ISO Additional Insured Endorsement CG 20 26, and CA 20 48 provide coverage for the UPRR's negligence whether sole or partial, active or passive, and shall not be limited by Contractor's liability under the indemnity provisions contained in the specifications.
- H. Punitive damages exclusion, if any, shall be deleted (and the deletion indicated on the certificate of insurance), unless the law governing prohibits all punitive damages that might arise in connection with this contract.
- I. The Contractor waives all rights of recovery, and its insurers also waive all rights of subrogation of damages against Railroad and its agents, officers, directors, and employees. This waiver shall be stated on the certificate of insurance.
- J. Prior to commencing the work, the Contractor shall furnish Railroad with a certificate(s) of insurance, executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements in this contract.
- K. All insurance policies shall be written by a reputable insurance company acceptable to the UPRR or with a current Best's Insurance Guide Rating of A- and Class VII or better, and authorized to do business in the State of Iowa.
- L. The fact that insurance is obtained by the Contractor or by the UPRR on behalf of the Contractor shall not be deemed to release or diminish the liability of the Contractor, including, without limitation, liability under the indemnity provisions of this contract. Damages recoverable by the UPRR from the Contractor or any third party shall not be limited by the amount of the required insurance coverage.

23066.08 ASSIGNMENT, SUBCONTRACTING, AND INSURANCE ENDORSEMENTS.

The Contractor shall not assign or subcontract the provisions of this specification, or any interest therein, without the written consent of the Engineer. The Contractor shall be responsible for the acts and omissions of all subcontractors. Before the Contractor commences any work, they shall, except to the extent prohibited by law; (1) require each subcontractor to include the Contractor as "Additional Insured" in the subcontractor's Commercial General Liability policy and Business Automobile policies with respect to all liabilities arising out of the subcontractor's performance of work on behalf of the Contractor by

endorsing these policies with ISO Additional Insured Endorsements CG 20 26, and CA 20 48 (or substitute forms providing equivalent coverage; (2) require each subcontractor to endorse their Commercial General Liability Policy with "Contractual Liability Railroads" ISO Form CG 24 17 10 01 (or a substitute form providing equivalent coverage) for the job site; and (3) require each subcontractor to endorse their Business Automobile Policy with "Coverage For Certain Operations In Connection With Railroads" ISO Form CA 20 70 10 01 (or a substitute form providing equivalent coverage) for the job site.

23066.09 ADDITIONAL SAFETY REQUIREMENTS.

- A.** Personnel employed by the Contractor or subcontractors shall complete the UPRR safety training course and be registered prior to working on UPRR property. This orientation is available at: <https://www.up.com/aboutup/community/safety/erailsafe/up-pat/index.htm>. This course shall be completed annually.
- B.** The Contractor shall require its employees to be suitably dressed to perform their duties safely. The Contractor shall require workers to wear personal protective equipment as specified by UPRR rules and regulations. Protective equipment shall include, but not be limited to the following: protective headgear meeting ANSI 289.1; eye protection meeting ANSI 287.1, however additional eye protection shall be provided to meet specific job situations such as welding, grinding, burning, etc.; and hearing protection which affords enough attenuation to give protection from noise levels that will be occurring on the job site. Only waist length shirts with sleeves and trousers covering the entire leg shall be worn. Flare-legged trouser bottoms shall be tied to prevent catching.
- C.** Heavy equipment operating within UPRR ROW shall be equipped with audible back-up warning devices. If in the opinion of the UPRR the Contractor's equipment is unsafe for use on the UPRR's ROW, the Contractor shall remove such equipment from the UPRR ROW.
- D.** The Contractor shall promptly notify the UPRR of any U.S. OSHA reportable injuries occurring to any employee that arises during the work performed on the work site within UPRR ROW.
- E.** If at any time the Engineer or the UPRR are of the opinion that any work of the Contractor is being or is about to be done or prosecuted without due regard and precaution for safety and security, the Engineer may suspend the work until proper protective measures are adopted and provided.

23066.10 SAFETY MEASURES-PROTECTION OF OPERATIONS.

The Contractor shall perform work in a safe manner and in conformity with the following standards:

A. Explosives.

The Contractor shall not discharge any explosives on or in the vicinity of the UPRR's property without the prior consent of the UPRR, which shall not be given if, in the sole discretion of the UPRR, such discharge would be dangerous or would interfere with the UPRR's property or facilities. For the purposes hereof, the "vicinity of the UPRR's property" shall be deemed to be any place on the UPRR's property or in such close proximity to the UPRR's property that the discharge of explosives could cause injury to the UPRR's employees or other persons, or cause damage to or interference with the facilities or operations on the UPRR's property. The UPRR reserves the right to impose limitations on the transportation, handling, storage, security, and use of explosives as the UPRR, in the UPRR's sole discretion, may deem to be necessary, desirable, or appropriate. In addition to any limitations as may be specifically imposed:

- 1.** The Contractor shall provide no less than 48 hours written notice, excluding weekends and holidays, before discharging any explosives.
- 2.** Any explosives loaded in holes, placed or otherwise readied for discharge, they shall be discharged the same day during daylight hours, and at mutually acceptable times.

3. The Contractor, at its own expense, shall take all precautionary measures and construct all temporary shelters necessary to guard against danger of damage, destruction, or interference arising out of or connected with any blasting or any transportation, handling, storage, security, or use of explosives.

B. Obstructions to View.

Except as otherwise provided herein, the Contractor shall not cause or permit the view along the tracks of the UPRR to be obstructed, nor place any combustible material on the crossing area, nor erect any structures thereon except as allowed by the contract documents.

C. Excavation.

The Contractor shall not excavate from existing slopes nor construct new slopes which are excessive and may create hazards of slides or falling rock, impair, or endanger the clearance between existing or new slopes and the tracks of the UPRR. The Contractor shall not perform any work that may disturb the stability of any area or adversely affect the UPRR's tracks or facilities. The Contractor, at its own expense, shall install and maintain adequate shoring and cribbing for all excavation or trenching performed by them in connection with construction, maintenance, or other work. The shoring and cribbing shall be constructed and maintained with materials and in a manner approved by the UPRR to withstand all stresses likely to be encountered, including any stresses resulting from vibrations caused by the UPRR's operations in the vicinity.

D. Drainage.

The Contractor, at its expense, shall provide and maintain suitable facilities for draining the highway and its appurtenances, and shall not suffer or permit drainage water to flow or collect upon property of the UPRR that may adversely affect any of the UPRR's operations, equipment or any third parties with permitted facilities on the UPRR's ROW. The Contractor, at its own expense, shall provide adequate passageway for the waters of any streams, bodies of water, and drainage facilities (either natural or artificial, and including water from the UPRR's culverts and drainage facilities), so that said waters may not, because of any facilities or work of the Contractor, be impeded, obstructed, diverted or caused to back up, overflow or damage the property of the UPRR or any part thereof, or property of others. The Contractor shall not obstruct or interfere with existing ditches or drainage facilities.

E. Clearances.

1. The Contractor shall provide a minimum vertical clearance of 21.5 feet above top of rails and a minimum lateral clearance of 15.0 feet from centerline of track nearest temporary construction falsework.
2. Proposed changes to the specified minimum clearances shall be submitted to UPRR, through the Engineer, at least 30 calendar days in advance of the work. No work shall commence until the Engineer receives concurrence, in writing, from UPRR that approval is given and that arrangements have been made for flagging service, as may be necessary. The UPRR will have 2 weeks to respond to the request.

F. Demolition of Existing Structures.

The Contractor shall submit demolition plans to the Engineer for review and approval. The Engineer will forward to the UPRR as identified in the project agreement. Demolition shall not be undertaken until the Contractor has received the Engineer's written approval of such demolition plans. All such reviews and approvals or rejections will be completed by the Engineer within 45 calendar days of receipt from the Contractor.

23066.11 WALKWAYS.

Along the outer side of each exterior track of multiple operated track, and on each side of single operated track, an unobstructed continuous space suitable for UPRR's use in walking along trains, extending to a line not less than 12 feet from centerline of track, shall be maintained. Any temporary impediments to

walkways and track drainage encroachments or obstructions allowed during work hours while UPRR's flagging service is provided shall be removed before the close of each work day. Walkways with railings shall be constructed by Contractor over open excavations when in close proximity of track, and railings shall not be closer than 8.5 feet horizontally from center line of tangent track or 9.5 feet horizontally from centerline of curved track.

23066.12 EXCAVATIONS IN CLOSE PROXIMITY TO UPRR FACILITIES.

- A.** The Contractor shall take special precaution in connection with excavating and shoring. Excavations for construction of footings, piers, columns, walls, or other facilities that require shoring shall comply with the following requirements: OSHA, AREMA, and UPRR "Guidelines for Temporary Shoring".
- B.** The Contractor shall contact UPRR's "Call Before Your Dig" at least 48 hours prior to commencing work at 1.800.336.9193 during normal business hours (6:30 a.m. to 8:00 p.m. C.S.T., Monday through Friday, except holidays - also a 24 hour, 7 day a week number for emergency calls) to determine location of fiber optics. If a telecommunications system is buried anywhere on or near UPRR property, the Contractor shall coordinate with UPRR and the telecommunication company to arrange for relocation or other protection of the system prior to beginning any work on or near UPRR property.

23066.13 NO INTERFERENCE WITH UPRR'S OPERATION.

The Contractor shall not interfere with the constant, continuous, and uninterrupted use of the tracks, property, and facilities of the UPRR its lessees, licensees, or others, unless specifically permitted by this specification, or specifically authorized in advance by the UPRR. When not in use, the Contractor's machinery and materials shall be kept at least 50 feet from the centerline of UPRR's nearest active track, and there shall be no crossings of UPRR's tracks except at existing open public crossings or as provided by agreement.

23066.14 TRAFFIC CONTROL.

The Contractor's operations that control traffic across or around UPRR facilities shall be coordinated with and approved by the UPRR.

23066.15 INDEMNITY.

- A.** As used in this Article, "UPRR" includes other railroad companies using the UPRR's property at or near the location of the Contractor's work and their officers, agents, and employees; "Loss" includes loss, damage, claims, demands, actions, causes of action, penalties, costs, and expenses of whatsoever nature, including court costs and attorneys' fees, which may result from the following:
 - Injury to or death of persons whomsoever (including the UPRR's officers, agents, and employees, the Contractor's officers, agents, and employees, as well as any other person); and
 - Damage to or loss or destruction of property whatsoever (including Contractor property, damage to the roadbed, tracks, equipment, or other property of the UPRR, or property in its care or custody).
- B.** The Contractor shall indemnify, hold harmless, and defend to the extent allowed by law the UPRR from any loss which is due to or arises from any cause and is associated in whole or in part with the work, a breach of the contract or the failure to observe the health and safety provisions herein, or any activity or omission arising out of performance or nonperformance; except when caused by the sole negligence of the UPRR, or except to the extent caused by the gross negligence or willful misconduct of the UPRR.

23066.16 MAINTENANCE OF UPRR FACILITIES.

The Contractor shall maintain all ditches and drainage structures free of silt or other obstructions which may result from its operations, promptly repair eroded areas within UPRR's ROW, and repair any other damage to UPRR property, or its tenants; at no additional cost to the UPRR.

23066.17 COMMUNICATIONS AND SIGNAL LINES.

If required, UPRR will rearrange its communications and signal lines, grade crossing warning devices, train signals and tracks, and facilities that are in use and maintained by UPRR's forces in connection with its operation at the expense of the Contracting Authority. This work will be performed by the UPRR and it is not a part of the contract.

23066.18 FIBER OPTIC CABLE SYSTEMS.

- A.** Fiber optic cable systems may be buried on the UPRR's property. Protection of the fiber optic cable systems is of extreme importance since any break could disrupt service to users resulting in business interruption and loss of revenue and profits. The Contractor shall contact the UPRR (1.800.336.9193 (a 24 hour number)) to determine if fiber optic cable is buried anywhere on the UPRR's Crossing Area to be used by the Contractor. If it is, the Contractor shall telephone the telecommunications company involved, arrange for a cable locator, and make arrangements for relocation or other protection of the fiber optic cable prior to beginning any work on the UPRR's Crossing Area.
- B.** In addition to the liability terms elsewhere in this specification, the Contractor shall indemnify and hold harmless the UPRR against and from all cost, liability, and expense whatsoever (including, without limitation, attorney's fees, court costs, and expenses) arising out of or in any way contributed to by any act or omission of the Contractor, agents, or employees, that causes or contributes to (1) any damage to or destruction of any telecommunications system on UPRR's property, and (2) any injury to or death of any person employed by or on behalf of any telecommunications company, its contractor, agents, or employees, on UPRR's property in the crossing area. The Contractor shall not have or seek recourse against UPRR for any claim or cause of action for alleged loss of profits, revenue, loss of service, or other consequential damage to a telecommunication company using UPRR's property or a customer or user of services of the fiber optic cable on UPRR's property.

23066.19 COOPERATION.

The UPRR will cooperate with the Contractor so that work may be conducted in an efficient manner, and will cooperate with the Contractor in enabling use of UPRR's ROW in performing the work.

23066.20 WAIVER OF BREACH.

The waiver by the UPRR of the breach of any condition, covenant, or specification herein contained to be kept, observed and performed by the Contractor shall in no way impair the right of the UPRR to avail itself of any subsequent breach thereof.

23066.21 UPRR OPERATIONS.

- A.** The Contractor shall be advised that trains or equipment are expected on any track, at any time, in either direction. Contractor shall become familiar with the train schedules in this location and structure its bid assuming intermittent track windows in this period, as defined below.
- B.** All railroad tracks within and adjacent to the work are active and rail traffic over these tracks shall be maintained throughout the contract. Activities may include both through moves and switching moves to local customers. Railroad traffic and operations may occur continuously throughout the day and night on these tracks and shall be maintained at all times. The Contractor shall coordinate and schedule the work so that construction activities do not interfere with UPRR operations.

- C. Work windows for this contract shall be coordinated with the Engineer. Types of work windows include Conditional Work Windows and Absolute Work Windows, as defined below:
1. Conditional Work Window: A period of time that UPRR operations have priority over construction activities. When construction activities may occur on and adjacent to the railroad tracks within 25 feet of the nearest track, a UPRR flag person will be required. At the direction of the UPRR flag person, upon approach of a train, and when trains are present, the tracks shall be cleared (i.e., no construction equipment, materials, or personnel within 25 feet, or as directed by the UPRR, from the tracks). Conditional Work Windows are available for the contract.
 2. Absolute Work Window: A period of time that construction activities are given priority over UPRR operations. During this time frame the designated tracks will be inactive for train movements and may be fouled by the Contractor. At the end of an Absolute Work Window the tracks or signals shall be completely operational for train operations and all UPRR, Public Utilities Commission, and Federal Railroad Administration requirements, codes, and regulations for operational tracks shall be met. In the situation where the operating tracks or signals have been affected, the UPRR will perform inspections of the work prior to placing back into service. UPRR flag persons will be required for construction activities requiring an Absolute Work Window.
 3. Absolute Work Windows will not generally be granted. Any request will require a detailed explanation for UPRR review.
- C. All work on UPRR's ROW shall be done at such times and in such manner so as not to interfere with or endanger the operations of UPRR. Whenever work may affect the operations or safety of trains, the method of doing such work shall first be submitted to the UPRR for approval, but such approval shall not relieve the Contractor from liability. Any work to be performed by the Contractor that requires flagging or inspection service shall be deferred until the flagging protection required by UPRR is available at the job site.
- D. The Contractor shall make requests in writing for both Absolute and Conditional Work Windows, at least 2 weeks in advance of any work. The written request shall include:
Exactly what the work entails.
- The days and hours that work will be performed.
 - The exact location of work, and proximity to the tracks.
 - The type of window requested and the amount of time requested.
 - The designated contact person.
- E. The Contractor shall provide written notice to the UPRR at least 48 hours before commencing work in connection with approved work windows when work will be performed within 25 feet of any track center line.
- F. Should a condition arising from, or in connection with the work, require that immediate and unusual provisions be made to protect operations and property of UPRR, the Contractor shall make such provisions. If in the judgment of the UPRR such provisions are insufficient, the UPRR may require or provide such provisions as deemed necessary. In any event, such provisions shall be at the Contractor's expense. The UPRR or Engineer will have the right to order Contractor to temporarily cease operations in the event of an emergency or, if in the opinion of the UPRR, the Contractor's operations could endanger UPRR's operations. In the event such an order is given, Contractor shall immediately notify the Engineer of the order.

23066.22 TEMPORARY CROSSINGS.

- A. At other than established public road crossings, the Contractor shall not move any equipment or materials across the UPRR's tracks until written permission has been obtained from the UPRR.

- B. If the Contractor requires a temporary railroad crossing the Contractor shall arrange for the crossing installation at a mutually acceptable location at the Contractor's expense to include all UPRR costs of installation, maintenance, removal, and track restoration. The temporary crossing shall be gated and locked at all times when not required for use by the Contractor. Flagging will always be required during use of a temporary crossing. The billing, Contractor payment provisions, and final Contractor payment requirements for crossing costs except flagging are to be covered as agreed to in a separate agreement between the Contractor and UPRR. Prior notice of need for a temporary crossing needs to allow for UPRR site review, cost estimating, securing material, and work crew scheduling and will vary. The Contractor should contact the UPRR prior to making a bid when a temporary crossing is required.

23066.23 LIMITATION OF RIGHTS GRANTED.

- A. The Contract, any Temporary Easement, and Permanent Easement are all subject to the prior and continuing right and obligation of the UPRR to use and maintain its property, not inconsistent with highway purposes, including the right and power of the UPRR to construct, maintain, repair, renew, use, operate, change, modify, or relocate UPRR tracks, roadways, signal, communication, fiber optics, or other wirelines, pipelines, and other facilities upon, along, or across any or all parts of its property, all or any of which may be freely done at any time or times by the UPRR, not inconsistent with highway purposes and at UPRR's sole cost and expense.
- B. The Contract, Temporary Construction Easement, and Permanent Easement, whether recorded or unrecorded, are subject to all outstanding rights (including those in favor of licensees and lessees of the UPRR's property, and others) and the right of the UPRR to renew and extend the same, and is made without covenant of title or for quiet enjoyment.

23066.24 MECHANIC'S LIENS.

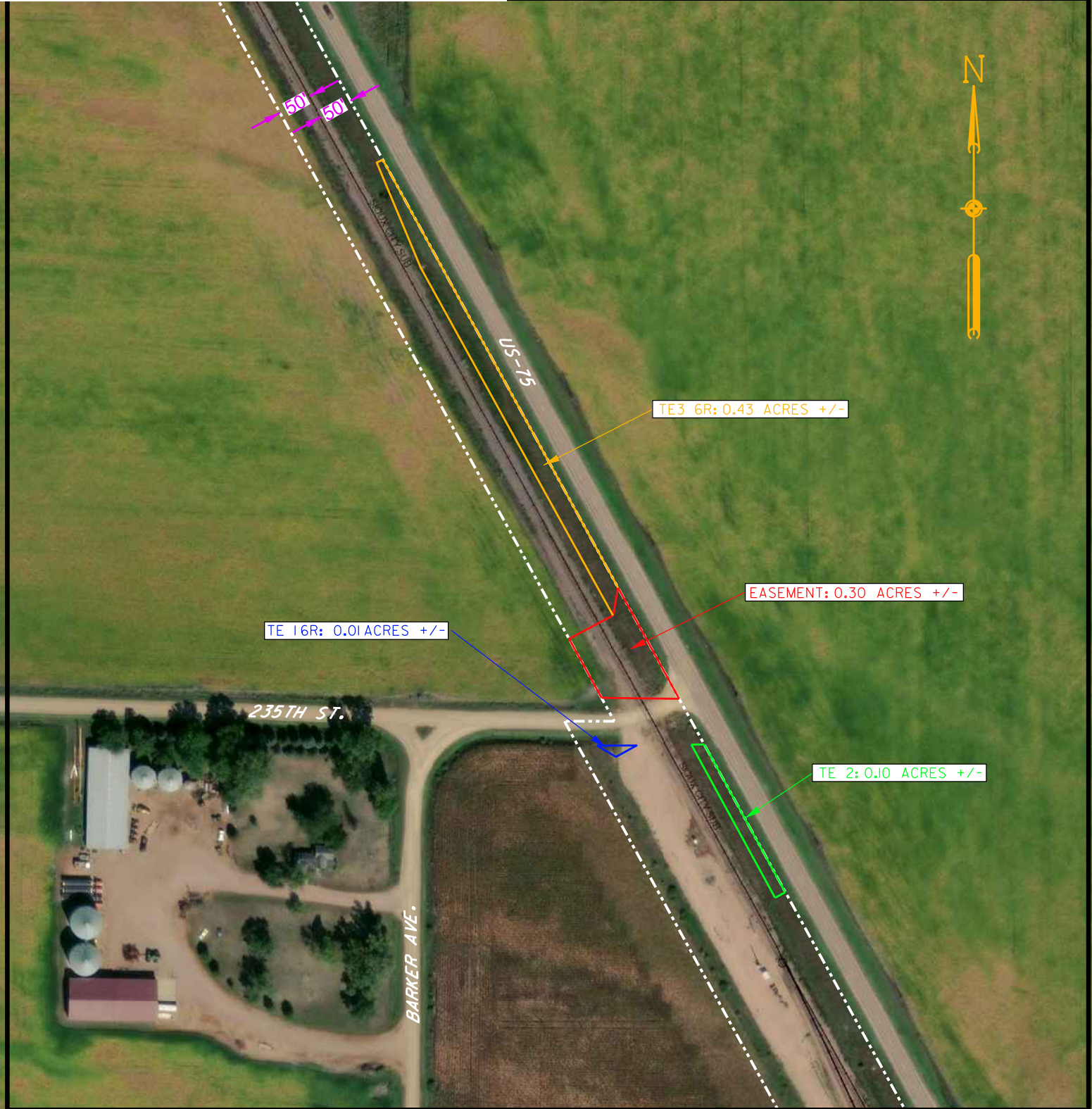
The Contractor shall not permit or suffer any mechanic's or material supplier's liens of any kind or nature to be enforced against any property of the UPRR for any work performed. The Contractor shall indemnify and hold harmless the UPRR from and against any liens, claims, demands, costs or expenses of whatsoever nature in any way connected with or growing out of such work done, labor performed, or materials furnished. It is understood that this specification may be recorded in the county in which the work is to be performed and such recording shall serve as public notice that no Contractor, subcontractor, or material supplier shall file any notice of a mechanic's or material supplier's lien or permit or suffer any mechanic's lien or material supplier's lien on the property of the UPRR to the extent permitted by law.

23066.25 METHOD OF MEASUREMENT AND BASIS OF PAYMENT.

Railroad Protective Liability Insurance for Union Pacific Railroad Co. will be paid for as a Lump Sum bid item. This payment shall be full compensation for complying with this specification. The Contractor will be paid the Lump Sum bid item price within 30 calendar days after receipt of a signed contract, provided that all necessary certificates of insurance have been submitted to the Department per Article DS-23066.07.

EXHIBIT C

PRINT SHOWING THE PERMANENT EASEMENT AREA



LEGEND:

EASEMENT AREA	<div></div>
TE NO.1	<div></div>
TE NO.2	<div></div>
TE NO.3	<div></div>
UPRRCO. R/W OUTLINED	<div></div>

NOTE: BEFORE YOU BEGIN ANY WORK, SEE AGREEMENT FOR FIBER OPTIC PROVISIONS.

EXHIBIT "A"

UNION PACIFIC RAILROAD COMPANY
SEARGEANT BLUFF, WOODBURY COUNTY, IA
M.P. 65.38 - SIOUX CITY SUB.

CNW/IA/V13/3

SCALE: 1" = 200'

OFFICE OF REAL ESTATE
OMAHA, NEBRASKA DATE: 9-25-2025

DSK FILE: 0791091

CADD FILENAME	0791091
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SCAN FILENAME	AERIAL PRINT
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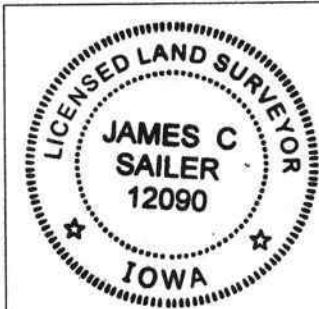
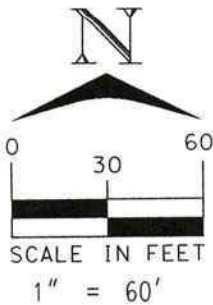
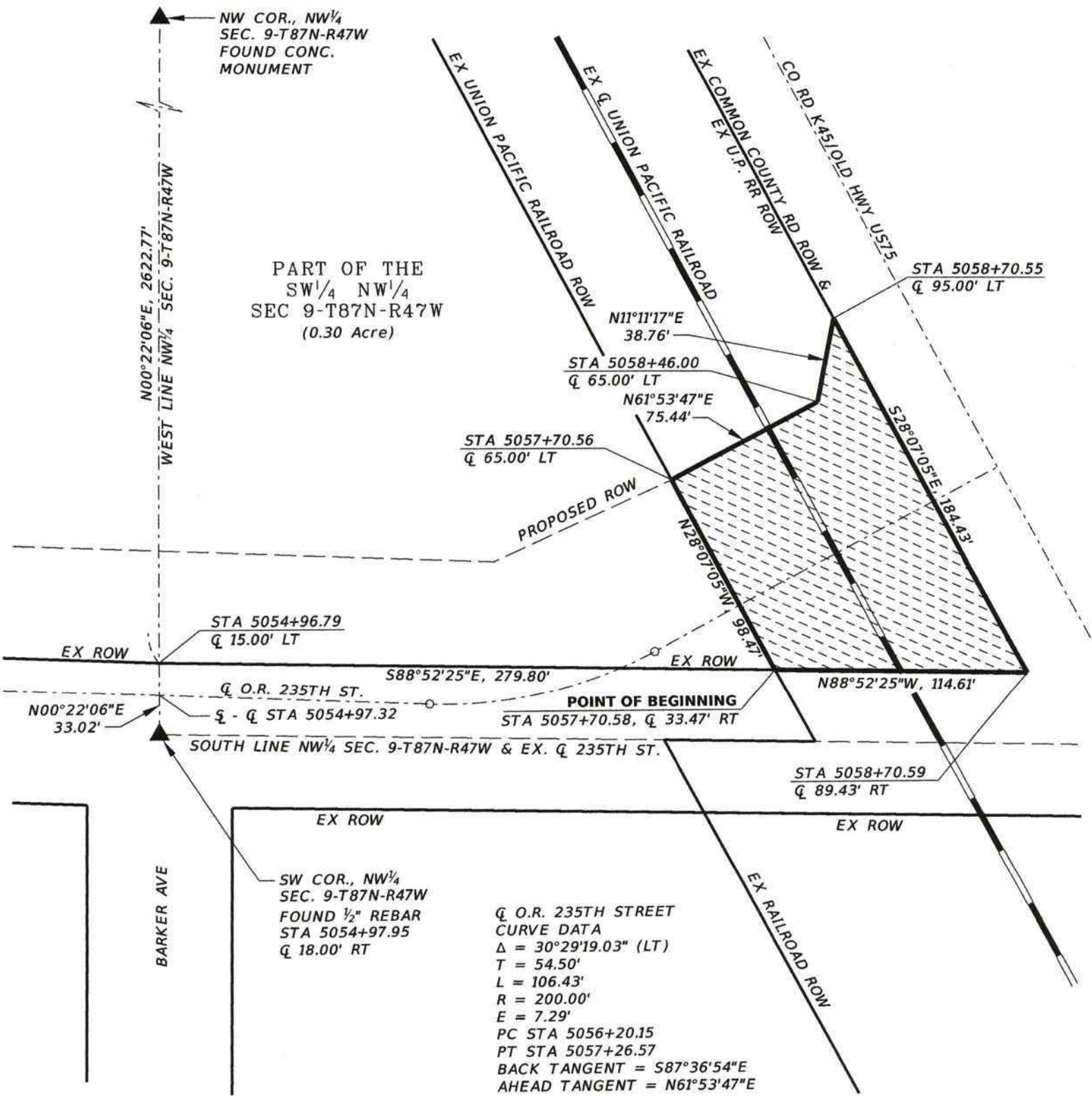


IOWA DEPARTMENT OF TRANSPORTATION
ACQUISITION PLAT
EXHIBIT "A"

IOWA | DOT

COUNTY WOODBURY STATE CONTROL NO. _____
PROJECT NO. IMN-029-6(318)139--OE-97 PARCEL NO. 6R
SECTION 9 TOWNSHIP 87 NORTH RANGE 47 WEST
ROW - FEE _____ EASE 0.30 AC. * QUIT CLAIM _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ MAIN LINE _____ SIDE _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ SIDE ROAD _____ SIDE _____
ACQUIRED FROM _____

* EASEMENT RIGHT GRANTED FOR PUBLIC HIGHWAY PURPOSES ACQUIRED IN THE NAME OF WOODBURY COUNTY.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

James C. Sailer 4/25/24
James C. Sailer License No. 12090 Date

My license renewal date is December 31, 2024.

Pages or sheets covered by this seal: THIS SHEET ONLY.

DATE DRAWN WRS 04/10/2024

EXHIBIT C-1

LEGAL DESCRIPTION OF THE PERMANENT EASEMENT AREA

THE EASEMENT RIGHT GRANTED FOR PUBLIC HIGHWAY PURPOSES IN THE NAME OF WOODBURY COUNTY IS TO LAND DESCRIBED AS FOLLOWS:

A parcel of land located in a part of the Southwest ¼ of the Northwest ¼ of Section 9, Township 87 North, Range 47 West of the Fifth Principal Meridian, Woodbury County, Iowa, as shown on the Acquisition Plat Exhibit "A" attached hereto and by reference made a part hereof and more particularly described as follows:

Commencing at the Southwest Corner of the Northwest ¼ of said Section 9; thence North 00°22'06" East, 33.02 feet along the West line of said Northwest ¼ to a point on the existing North Right of Way line of 235th Street; thence South 88°52'25" East, 279.80 feet along said existing North Right of Way line to a point on the existing West Right of Way line of the Union Pacific Railroad and the Point of Beginning; thence North 28°07'05" West, 98.47 feet along said West line; thence North 61°53'47" East, 75.44 feet; thence North 11°11'17" East, 38.76 feet to a point on the existing common Right of Way line of County Road K45 and the Union Pacific Railroad; thence South 28°07'05" East, 184.43 feet along said common Right of Way line to a point on the existing North Right of Way line of 235th Street; thence North 88°52'25" West, 114.61 feet along said existing North Right of Way line to the Point of Beginning, containing 0.30 acre.

EXHIBIT D

**FORM OF PERMANENT EASEMENT
IOWA DEPARTMENT OF TRANSPORTATION**

Preparer Information:
Iowa Department of Transportation
Office of Right of Way
800 Lincoln Way
Ames, IA 50010
Phone: 515-239-1247



Prepared by & Return To: Allyssa Myers, Right of Way Bureau, 800 Lincoln Way, Ames, IA 50010, 515-239-1757
Address Tax Statements: **Tax Exempt-IA Code Sec. 427.1** (Iowa DOT, ROW-Property Management, 800 Lincoln Way, Ames, IA 50010)

EASEMENT

UNION PACIFIC RAILROAD COMPANY, a Delaware corporation, Grantor, whose principal office is located at 1400 Douglas Street, Omaha, Nebraska 68179, for the consideration of _____ **AND NO/100 DOLLARS (\$_____)**, grants to **WOODBURY COUNTY, IOWA**, Grantee, a permanent easement for construction and maintenance of a public highway over Grantor's line of railroad in Woodbury County, Iowa, and for no other use or purpose whatsoever, over, upon and across the property (hereinafter the "Property") situated in Woodbury County, Iowa, more particularly described as follows:

THE EASEMENT GRANTED FOR HIGHWAY PURPOSES IS TO LAND DESCRIBED AS FOLLOWS:

A parcel of land located in a part of the Southwest ¼ of the Northwest ¼ of Section 9, Township 87 North, Range 47 West of the Fifth Principal Meridian, Woodbury County, Iowa, as shown on the Acquisition Plat Exhibit "A" attached hereto and by reference made a part hereof and more particularly described as follows:

Commencing at the Southwest Corner of the Northwest ¼ of said Section 9; thence North 00°22'06" East, 33.02 feet along the West line of said Northwest ¼ to a point on the existing North Right of Way line of 235th Street; thence South 88°52'25" East, 279.80 feet along said existing North Right of Way line to a point on the existing West Right of Way line of the Union Pacific Railroad and the Point of Beginning; thence North 28°07'05" West, 98.47 feet along said West line; thence North 61°53'47" East, 75.44 feet; thence North 11°11'17" East, 38.76 feet to a point on the existing common Right of Way line of County Road K45 and the Union Pacific Railroad; thence South 28°07'05" East, 184.43 feet along said common Right of Way line to a point on the existing North Right of Way line of 235th Street; thence North 88°52'25" West, 114.61 feet along said existing North Right of Way line to the Point of Beginning, containing 0.30 acre.

RESERVING, however, unto the Grantor, its lessees, licensees, successors and assigns, the right to continue to protect, maintain, repair, reconstruct, replace, operate, and use any and all existing drainage, driveways, conduits, sewers, water mains, gas lines, electric power lines, communication lines, wires and other utilities, and easements of any kind whatsoever on the Property that are not inconsistent with the use thereof for the purpose herein granted.

RESERVING FURTHER, however, unto the Grantor, its successors and assigns, the right to construct, maintain, use, operate, relocate, reconstruct and renew such tracks and facilities not inconsistent with the use thereof for the purpose of the easement herein granted, and Grantor retains the right to grant to third parties rights that are not inconsistent with Grantee's use of the Property under this Easement as it may at any time, and from time to time, desire within the limits of the Property; and further, the right and privilege to use the Property for any and all purposes that are not inconsistent with the use thereof for the purpose granted under this

Easement. The reservation herein shall forever inure to the benefit of the Grantor, its successors, lessees, licensees and assigns.

This Easement is made pursuant to that separate agreement executed by the Grantor on _____, and by the Grantee on _____, covering the construction and maintenance of Interstate Route No. 29 and affected local roads, identified as Project No. IMN-029-6(318)139--0E-97.

This Easement is also made SUBJECT to all outstanding leases, licenses and other outstanding rights, including, but not limited to, those for pipe, telephone, electric and fiber optic lines and the right of renewals and extensions of the same, and subject also to all conditions, limitations, restrictions, encumbrances, reservations or interests of any person which may affect the property, whether recorded or unrecorded.

It is hereby expressly provided that the Grantor shall not be put to any expense concerning the cost of acquiring, constructing, grading, paving, or other things necessary or expedient for the improvement, maintenance or use of the Property or any part thereof for the purpose granted in this Easement; and if any special tax or assessment shall be levied or assessed against the Property or other right of way of the Grantor for all or any of the purposes aforesaid, the Grantee by its acceptance hereof hereby assumes and agrees to pay the same.

This Easement is also limited to such rights as the Grantor may have in the Property and is granted without warranty, express or implied. No damages shall be recoverable from Grantor because of any dispossession of the Grantee or because of failure of, or defect in, the Grantor's title to the Property.

It is expressly made a condition of this Easement that if the Grantee, its successors or assigns, shall abandon the Property or any portion of the Property, for the purposes of this Easement, the rights herein granted shall cease and terminate with respect to the portion of the Property so abandoned, and the title to the Property shall be freed from the burden of this Easement. It is further agreed that non-use of the Property or any portion thereof for the purposes of this Easement for a continuous period of one (1) year shall be deemed an abandonment of the Property or portion thereof not used.

Fiber optic cable systems may be buried on the Grantor's property. Protection of the fiber optic cable systems is of extreme importance since any break could disrupt service to users resulting in business interruption and loss of revenue and profits. Grantee shall telephone the Grantor at 1-800-336-9193 (a 24-hour number) to determine if fiber optic cable is buried anywhere on the Grantor's premises to be used by the Grantee. If it is, Grantee will telephone the telecommunications company (ies) involved, arrange for a cable locator, make arrangements for relocation or other protection of the fiber optic cable, all at Grantee's expense, and will commence no work on the right of way until all such protection or relocation has been accomplished.

This easement and transfer is exempt from transfer tax. Iowa Code Section 428A.2(17).

IN WITNESS WHEREOF, the Grantor has duly executed this Easement as of the _____ day of _____, 20____.

UNION PACIFIC RAILROAD COMPANY

By: _____
Daniel A. Leis
Title: General Director - Real Estate

ACKNOWLEDGMENT

STATE OF NEBRASKA)
) ss.
COUNTY OF DOUGLAS)

On this _____ day of _____, 20____, before me, a Notary Public in and for said County and State, personally appeared Daniel A. Leis, the General Director - Real Estate of Union Pacific Railroad Company, a Delaware corporation, and who is personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to in the within instrument, and acknowledged to me that he executed the same in his authorized capacities, and that by his signatures on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Notary Public in and for said State.

(AFFIX NOTARIAL SEAL ABOVE)

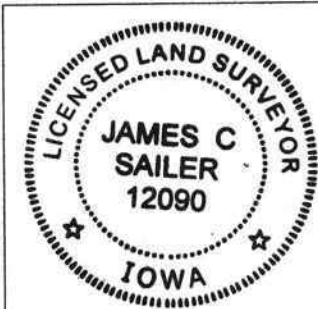
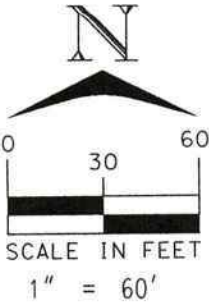
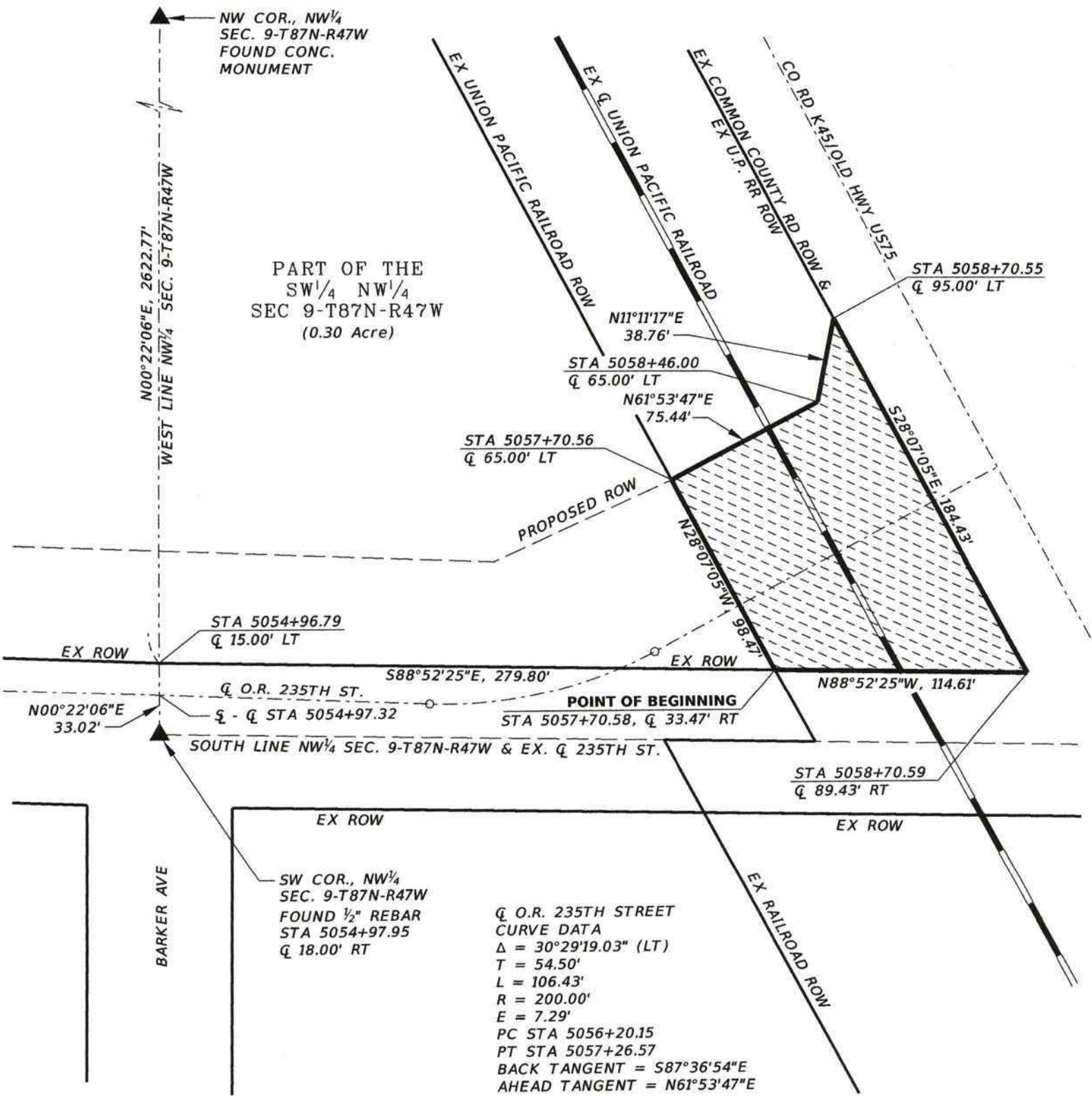


IOWA DEPARTMENT OF TRANSPORTATION
ACQUISITION PLAT
EXHIBIT "A"

IOWA | DOT

COUNTY WOODBURY STATE CONTROL NO. _____
PROJECT NO. IMN-029-6(318)139--OE-97 PARCEL NO. 6R
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ROW - FEE _____ EASE 0.30 AC. * QUIT CLAIM _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ MAIN LINE _____ SIDE _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ SIDE ROAD _____ SIDE _____
ACQUIRED FROM _____

* EASEMENT RIGHT GRANTED FOR PUBLIC HIGHWAY PURPOSES ACQUIRED IN THE NAME OF WOODBURY COUNTY.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

James C. Sailer 4/25/24
James C. Sailer License No. 12090 Date
My license renewal date is December 31, 2024.
Pages or sheets covered by this seal: THIS SHEET ONLY.

DATE DRAWN WRS 04/10/2024

EXHIBIT E

PRINT SHOWING THE TEMPORARY EASEMENT AREA



IOWA DEPARTMENT OF TRANSPORTATION
GRAPHIC EXHIBIT "B" 1 OF 3

IOWA DOT

COUNTY WOODBURY STATE CONTROL NO. _____

PROJECT NO. IMN-029-6(318)139--OE-97 PARCEL NO. 6R

SECTION 9 TOWNSHIP 87 NORTH RANGE 47 WEST

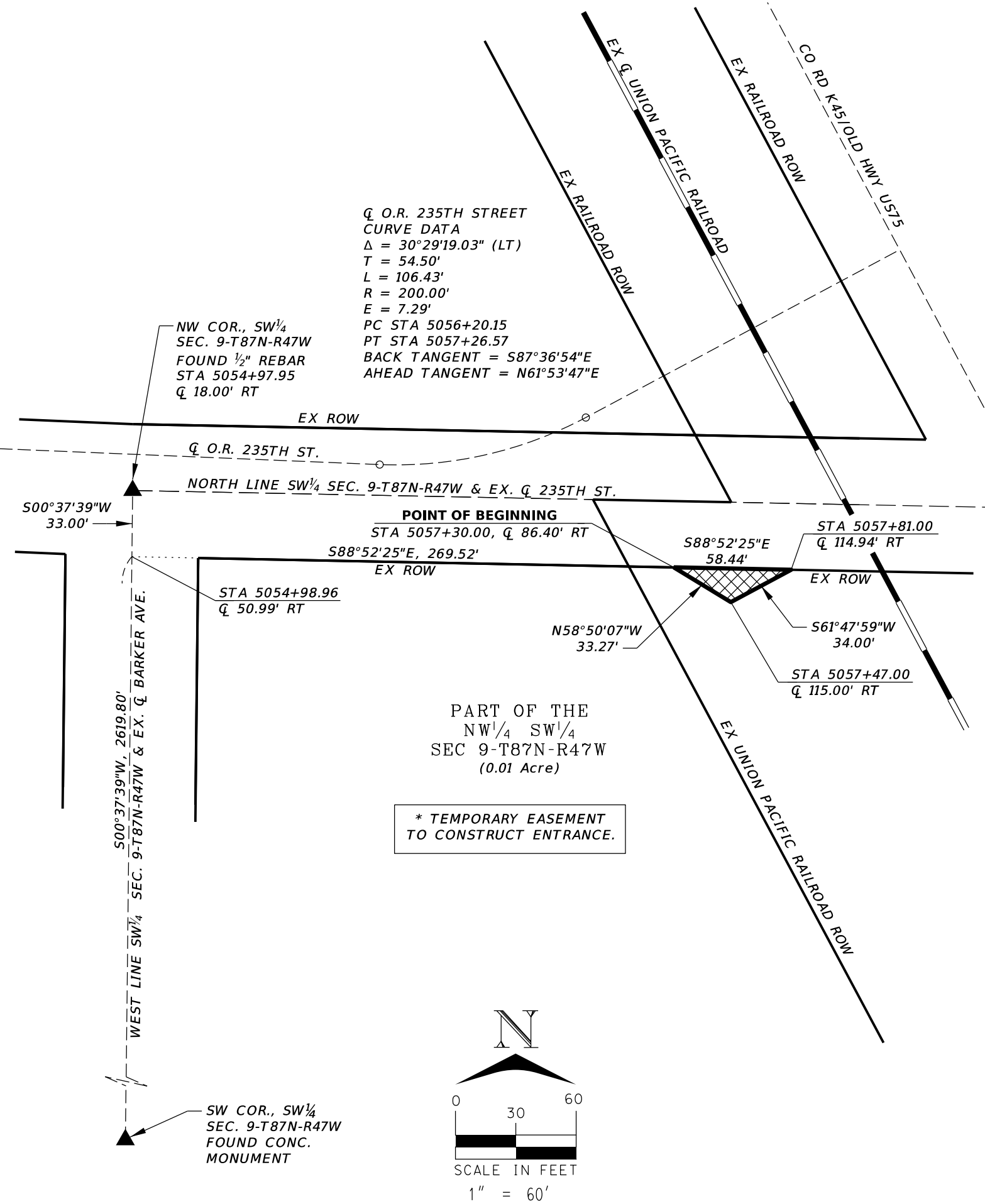
ROW - FEE _____ EASE 0.01 AC. * QUIT CLAIM _____

ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ MAIN LINE _____ SIDE _____

ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ SIDE ROAD _____ SIDE _____

ACQUIRED FROM _____

* TEMPORARY EASEMENT TO CONSTRUCT ENTRANCE.



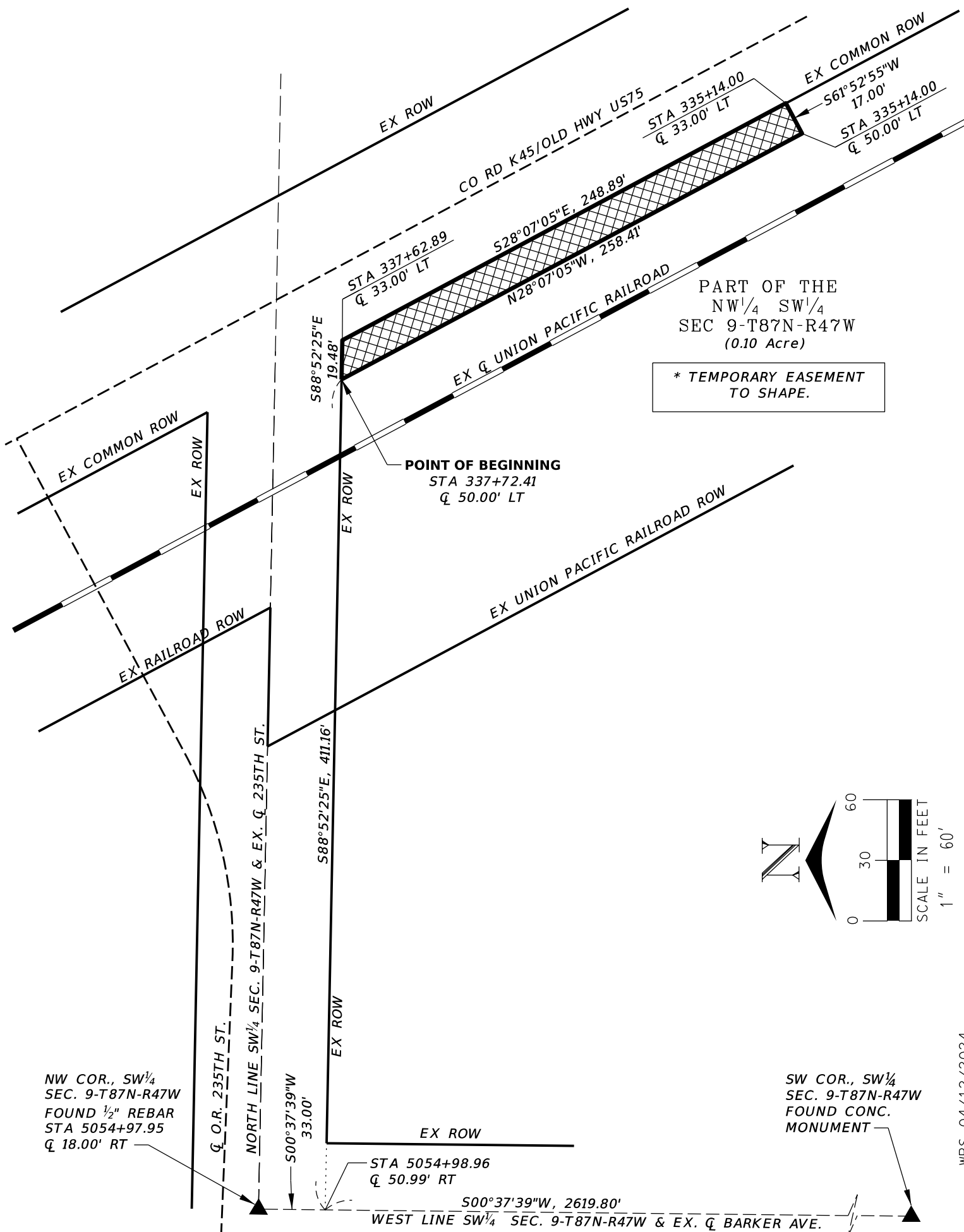


IOWA DEPARTMENT OF TRANSPORTATION
GRAPHIC EXHIBIT "B" 2 OF 3

IOWA DOT

COUNTY WOODBURY STATE CONTROL NO. _____
PROJECT NO. IMN-029-6(318)139--OE-97 PARCEL NO. 6R
SECTION 9 TOWNSHIP 87 NORTH RANGE 47 WEST
ROW - FEE _____ EASE 0.10 AC. * QUIT CLAIM _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ MAIN LINE _____ SIDE _____
ACQUIRED ACCESS RIGHTS FROM STA. _____ TO STA. _____ SIDE ROAD _____ SIDE _____
ACQUIRED FROM _____

* TEMPORARY EASEMENT TO SHAPE.



DATE DRAWN WRS 04/12/2024
 PWMain\Documents\Projects\9702901006\DistrictROW\Parcels\Parcel 6R\PARCEL 6R_Z04.dgn



IOWA DEPARTMENT OF TRANSPORTATION
GRAPHIC EXHIBIT "B" 3 OF 3

IOWA DOT

COUNTY WOODBURY STATE CONTROL NO. _____
PROJECT NO. IMN-029-6(318)139--OE-97 PARCEL NO. 6R
SECTION 8 & 9 TOWNSHIP 87 NORTH RANGE 47 WEST
ROW - FEE _____ EASE 0.43 AC. * QUIT CLAIM _____
ACQUIRED FROM _____
* TEMPORARY EASEMENT TO SHAPE.

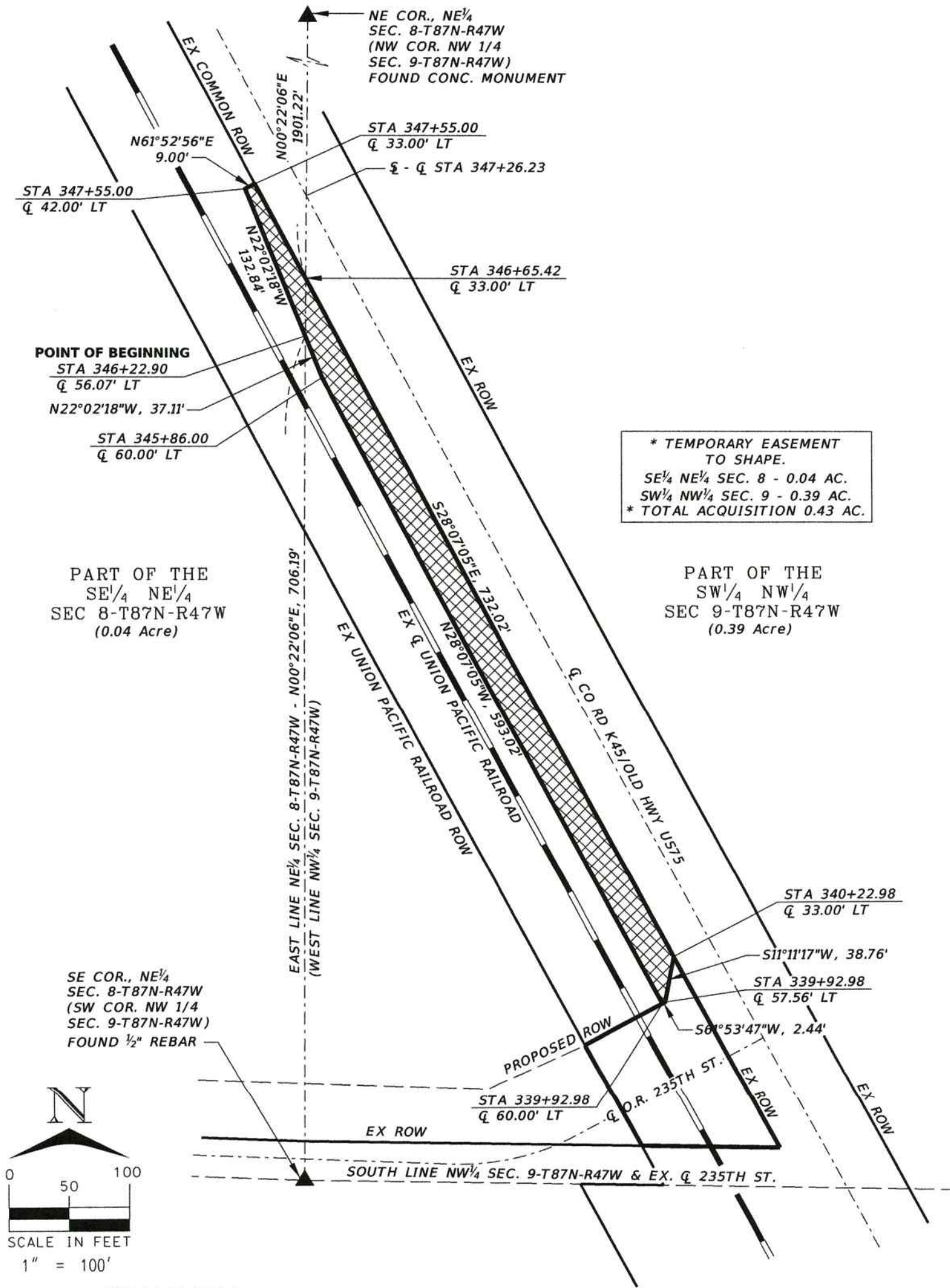


EXHIBIT E-1

LEGAL DESCRIPTION OF THE TEMPORATY EASEMENT AREA

Parcel 6R TE1

THE TEMPORARY EASEMENT RIGHT GRANTED TO CONSTRUCT ENTRANCE IS TO LAND DESCRIBED AS FOLLOWS:

A parcel of land located in a part of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 9, Township 87 North, Range 47 West of the Fifth Principal Meridian, Woodbury County, Iowa, as shown on the Graphic Exhibit "B" 1 of 3 attached hereto and by reference made a part hereof and more particularly described as follows:

Commencing at the Northwest Corner of the Southwest $\frac{1}{4}$ of said Section 9; thence South $00^{\circ}37'39''$ West, 33.00 feet along the West line of said Southwest $\frac{1}{4}$; thence South $88^{\circ}52'25''$ East, 269.52 feet along the existing South Right of Way line of 235th Street to the Point of Beginning; thence South $88^{\circ}52'25''$ East, 58.44 feet along said existing South Right of Way line; thence South $61^{\circ}47'59''$ West, 34.00 feet; thence North $58^{\circ}50'07''$ West, 33.27 feet to the Point of Beginning, containing 0.01 acre.

Parcel 6R TE2

THE TEMPORARY EASEMENT RIGHT GRANTED TO SHAPE IS TO LAND DESCRIBED AS FOLLOWS:

A parcel of land located in a part of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 9, Township 87 North, Range 47 West of the Fifth Principal Meridian, Woodbury County, Iowa, as shown on the Graphic Exhibit "B" 2 of 3 attached hereto and by reference made a part hereof and more particularly described as follows:

Commencing at the Northwest Corner of the Southwest $\frac{1}{4}$ of said Section 9; thence South $00^{\circ}37'39''$ West, 33.00 feet along the West line of said Southwest $\frac{1}{4}$; thence South $88^{\circ}52'25''$ East, 411.16 feet along the existing South Right of Way line of 235th Street to the Point of Beginning; thence South $88^{\circ}52'25''$ East, 19.48 feet along said existing South Right of Way line to a point on the existing common Right of Way line of County Road K45 and the Union Pacific Railroad; thence South $28^{\circ}07'05''$ East, 248.89 feet along said existing common Right of Way line; thence South $61^{\circ}52'55''$ West, 17.00 feet; thence North $28^{\circ}07'05''$ West, 258.41 feet to the Point of Beginning, containing 0.10 acre.

Parcel 6R TE3

THE TEMPORARY EASEMENT RIGHT GRANTED TO SHAPE IS TO LAND DESCRIBED AS FOLLOWS:

A parcel of land located in a part of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 8 and in a part of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 9, all in Township 87 North, Range 47 West of the Fifth Principal Meridian, Woodbury County, Iowa, as shown on the Graphic Exhibit "B" 3 of 3 attached hereto and by reference made a part hereof and more particularly described as follows:

Commencing at the Southeast Corner of the Northeast $\frac{1}{4}$ of said Section 8; thence North 00°22'06" East, 706.19 feet along the East line of said Northeast $\frac{1}{4}$ to the Point of Beginning; thence North 22°02'18" West, 132.84 feet; thence North 61°52'56" East, 9.00 feet to a point on the existing common Right of Way line of County Road K45 and the Union Pacific Railroad; thence South 28°07'05" East, 732.02 feet along said existing common Right of Way line; thence South 11°11'17" West, 38.76 feet; thence South 61°53'47" West, 2.44 feet; thence North 28°07'05" West, 593.02 feet; thence North 22°02'18" West, 37.11 feet to the Point of Beginning, containing 0.43 acre.

EXHIBIT F

MATERIAL AND FORCE ACCOUNT ESTIMATE FOR SURFACE

PRELIMINARY ESTIMATE
ESTIMATE CREATION DATE: 09/21/2025
ESTIMATE GOOD UNTIL 09/21/2026

ESTIMATE 821 VERSION 01

Preliminary Name: 191296B Old HWY 75 65.38
Subdivision: SIOUX CITY SUB
Location: Sergeant Bluff IIA
Description of Work: Replace existing 32' wood plank crossing with 72' concrete crossing and 200' track panel
PID/WO:
Prepared For: IDOT
Buy America: N
Work Train Additive: FEDERAL 224.62% (TRACK)
Direct Labor Additive: FEDERAL 283.35% (TRACK)
Homeline Freight Additive: FEDERAL 223.08%

	Notes	QTY	UOM	Unit Cost(\$)	LABOR(\$)	MATERIAL(\$)	CONTRACT(\$)	TOTAL(\$)	AR(\$)
Engineering									
BILL PREP	Bill Prep Fee - Surface Recollect	1	LS	600	600	-	-	600	600
FIELD ENGINEERING	Engineering	1	LS	42,923	42,923	-	-	42,923	42,923
Subtotal =					\$43,523	\$0	\$0	\$43,523	\$43,523

Track Construction - Contractor

EQUIPMENT RENTAL	Equipment Rental	1	LS	15,000	-	-	15,000	15,000	15,000
Subtotal =					\$0	\$0	\$15,000	\$15,000	\$15,000

Track Construction - UPRR

ROAD_CROSSING	RDXING 136# CON10W PP PAN COMPLETE	NEW	72	TF	50,910	27,259	4,844	83,013	83,013
TRACK	136# CWRIS0 24-8'6" PPHWD N 16 TP	NEW	128	TF	76,408	24,133	7,161	107,702	107,702
TRACK	136# Transition Rail	NEW	4	EA	9,944	15,241	947	26,132	26,132
ROAD_CROSSING	Remove road crossing/Prefab - Public	REMOVE	32	TF	22,599	-	2,153	24,752	24,752
TRACK	Remove Track	REMOVE	168	TF	8,701	-	829	9,530	9,530
MOBILIZATION	Mobilization - UPRR	1	DA	1,500	-	-	1,500	1,500	1,500
Subtotal =					\$168,561	\$66,634	\$17,434	\$252,629	\$252,629
ESTIMATE 821 VERSION 01 TOTAL =					\$212,084	\$66,634	\$32,434	\$311,152	\$311,152

Disclaimer: The above figures are estimates only and are subject to fluctuation. In the event of an increase or decrease in cost or amount of material or labor required, the Responsible Party will pay actual costs at rates effective at the time of construction per terms of construction agreement.

Iowa

Estimate Creation Date: 09/16/2025 Number: 155918 Version: 1

Estimate Good Until 09/16/26

Location: SIOUX CITY SUB, SIMN, 5.77-68.65
Buy America: Yes

Description of Work: Sioux City Sub MP 65.38 Sergeant Bluff, IA 235th St DOT#191296B

COMMENTS	Description	QTY	UOM	Unit Cost	LABOR	MATERIAL	TOTAL
SIGNAL							
	Gang Day - 5 Man	2	EA	7,500.00	15,000	0	15,000
	Xing - 1 Trk CWE w/Gates	1	EA	131,584.00	41,200	90,384	131,584
	Xing - 2 Trk Remote CWE and House	1	EA	75,404.00	21,200	54,204	75,404
	Xing - Dax Cable 1000'	3	EA	6,440.00	12,000	7,320	19,320
	Xing - Public Project Mgmt	1	LS	10,000.00	0	10,000	10,000
	Xing - Sidelight	1	EA	907.00	0	907	907
	Xing - Track Card (Main and Stand-by) New Cable	2	EA	12,889.00	12,000	13,778	25,778
	Xing - Track Filter/Battery Choke	2	EA	240.00	0	480	480
	Xing - Semi-Bi Coupler	4	EA	898.00	0	3,592	3,592
	Xing - Engineering Design	1	LS	12,000.00	12,000	0	12,000
	Xing - Boring	1	LS	20,000.00	0	20,000	20,000
	Xing - Contract Services for Preempt Cutover	1	LS	20,000.00	0	20,000	20,000
	Xing - Fill/Rock/Gravel	1	LS	8,000.00	0	8,000	8,000
FED W/O INDR & OVERHD 123.85%	Xing - Labor Additive	1	LS	140,447.00	140,447	0	140,447
	Xing - Meter Service	1	LS	5,000.00	0	5,000	5,000
Sub-Total =					253,847	233,665	487,512

Totals = 253,847 233,665 487,512

Grand Total = \$487,512

Disclaimer: This is a preliminary estimate, intended to provide a ballpark cost to determine whether a proposed project warrants further study. Quantities and costs are estimated using readily available information and experience with similar projects. Site conditions and changes in project scope and design may result in significant cost variance.

WOODBURY COUNTY BOARD OF SUPERVISORS AGENDA ITEM(S) REQUEST FORM

Date: 12-3-2025 Weekly Agenda Date: 12-9-2025

ELECTED OFFICIAL / DEPARTMENT HEAD / CITIZEN: Ryan Ericson- Finance Director

WORDING FOR AGENDA ITEM:

Set the County's contribution rates to the Self-Health Insurance Fund

ACTION REQUIRED:

Approve Ordinance ☐

Approve Resolution ☐

Approve Motion ☒

Public Hearing ☐

Other: Informational ☐

Attachments ☒

EXECUTIVE SUMMARY:

County has made changes to the health insurance plans offered. Plans have gone from two tiers to four tiers. The rates insurance rates need to be set for the County's contribution.

BACKGROUND:

On 11-18-25 new HMO and PPO plans were approved. The plans went from two tiers to four tiers and premiums were set for the employees for each tier. The contribution rates for the County for each tier need to be set. The Self-Health fund is currently below the June 20th 2025 required amount of \$816,700.

FINANCIAL IMPACT:

For FY26, the proposed rates would increase the monthly contribution \$250k over current contributions. For the FY27 budget, the rates would increase the annual contribution by \$1.6 million or approximately 26% from current annual contribution.

IF THERE IS A CONTRACT INVOLVED IN THE AGENDA ITEM, HAS THE CONTRACT BEEN SUBMITTED AT LEAST ONE WEEK PRIOR AND ANSWERED WITH A REVIEW BY THE COUNTY ATTORNEY'S OFFICE?

Yes ☐ No ☒

RECOMMENDATION:

Approve contribution rates for each tier as proposed effective Jan 1, 2026 and approve contribution rates for the FY27 budget.

ACTION REQUIRED / PROPOSED MOTION:

- a) Effective Jan 1, 2026, set the County's contribution amounts to the actuarial rates.
- b) For FY27 budget, effective Jul 1, 2026, set the County's contribution amounts on the FY 2027 budget sheet included in the backup documentation.

Woodbury County
Health Insurance Cost
2026 Estimate

	FY25	Wellmark 48%	Adjusted 26%
Total Claims Paid & Fixed Costs	9,991,980	10,000,000	10,000,000
Less			
Stop Loss Reimbursement	(1,273,955)	(840,000)	(840,000)
Direct Pay - Retired	(196,324)	(250,000)	(250,000)
Pharmacy Rebate	(944,909)	(910,000)	(910,000)
Net Claims Paid & Fixed Costs	7,576,792	8,000,000	8,000,000
County Contribution	6,527,403	9,100,000	7,770,000
Employee Contribution	577,708	880,000	880,000
Total Contributions to Fund	7,105,111	9,980,000	8,650,000
Net Outflow/(Inflow)	471,681	(1,980,000)	(650,000)

Medical | Contributions - Actuarial Rates

Current Plan Design - Assumes Same Employee Dollar Amount												
CURRENT						RENEWAL					EE Difference \$ / EE / % / ER	
Coverage Tier	Lives	Monthly Premium Amount	EE Monthly Contribution	ER Monthly Contribution	ER Monthly Percentage	Lives	Monthly Premium Amount	EE Monthly Contribution	ER Monthly Contribution	ER Monthly Percentage		
\$250 HMO						\$250 HMO CWA/Sheriff Deputies Only						
Employee Only:	22	\$702.52	\$56.98	\$645.54	92%	22	\$916.06	\$56.98	\$859.08	94%	\$0.00	2%
Employee + 1	0	\$0.00	\$0.00	\$0.00	0%	0	\$1,746.93		\$0.00	0%	\$0.00	0%
	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	\$0.00	\$0.00	0%	\$0.00	0%
Employee + Family:	28	\$1,645.64	\$136.36	\$1,509.28	92%	28	\$2,784.82	\$136.36	\$2,648.46	95%	\$0.00	3%
TOTAL	50	\$61,533	\$5,072	\$56,462	92%	50	\$98,128	\$5,072	\$93,057	95%		
\$250 PPO						\$500 HMO						
Employee Only:	16	\$702.52	\$74.56	\$627.96	89%	15	\$883.60	\$75.00	\$808.60	92%	\$0.44	2%
Employee + Spouse:	0	\$1,645.64	\$172.20	\$1,473.44	90%	5	\$1,809.61	\$170.00	\$1,639.61	91%	-\$2.20	1%
Employee + Children:	0	\$1,645.64	\$172.20	\$1,473.44	90%	7	\$1,672.65	\$165.00	\$1,507.65	90%	-\$7.20	1%
Employee + Family:	36	\$1,645.64	\$172.20	\$1,473.44	90%	25	\$2,711.77	\$180.00	\$2,531.77	93%	\$7.80	4%
TOTAL	52	\$70,483	\$7,392	\$63,091	90%	52	\$101,805	\$7,630	\$94,175	93%		
No Plan 2025						\$500 PPO						
Employee Only:	89	\$767.76	\$95.94	\$671.82	88%	90	\$976.59	\$95.94	\$880.65	90%	\$0.00	3%
Employee + Spouse:	0	\$1,808.64	\$219.66	\$1,588.98	88%	52	\$2,000.06	\$195.00	\$1,805.06	90%	-\$24.66	2%
Employee + Children:	0	\$1,808.64	\$219.66	\$1,588.98	88%	27	\$1,848.68	\$185.00	\$1,663.68	90%	-\$34.66	2%
Employee + Family:	210	\$1,808.64	\$219.66	\$1,588.98	88%	130	\$2,997.15	\$285.00	\$2,712.15	90%	\$65.34	3%
TOTAL	299	\$448,145	\$54,667	\$393,478	88%	299	\$631,440	\$60,820	\$570,620	90%		
		\$580,162	\$67,131	\$513,031			\$831,373	\$73,521	\$757,852			
Total Enrollment						CURRENT					RENEWAL	
Per Employee Per Month						401					401	
Total Annual Premium						\$1,446.79					\$2,073.25	
Total Employee Annual Contributions						\$6,961,941					\$9,976,479	
Total Annual Premium Paid by Company						\$805,573					\$882,255	
\$ Change in Total Annual Premium						\$6,156,368					\$9,094,224	
% Change in Total Annual Premium											\$3,014,537	
\$ Change in Employee Annual Contribution											43%	
% Change in Employee Annual Contribution											\$76,682	
\$ Change in Total Annual Premium Paid by Company											10%	
% Change in Total Annual Premium Paid by Company											\$2,937,855	
											48%	

Medical | Contributions - FY 2027 Budget

Current Plan Design - Assumes Same Employee Dollar Amount

		CURRENT				RENEWAL					EE Difference \$EE / %ER	
Coverage Tier	Lives	Monthly Premium Amount	EE Monthly Contribution	ER Monthly Contribution	ER Monthly Percentage	Lives	Monthly Premium Amount	EE Monthly Contribution	ER Monthly Contribution	ER Monthly Percentage		
\$250 HMO												
Employee Only:	22	\$702.52	\$56.98	\$645.54	92%	22	\$701.20	\$56.98	\$644.22	92%	\$0.00	0%
Employee + 1	0	\$0.00	\$0.00	\$0.00	0%	0	\$1,337.19		\$0.00	0%	\$0.00	0%
	0	\$0.00	\$0.00	\$0.00	0%	0	\$0.00	\$0.00	\$0.00	0%	\$0.00	0%
Employee + Family:	28	\$1,645.64	\$136.36	\$1,509.28	92%	28	\$2,131.64	\$136.36	\$1,995.28	94%	\$0.00	2%
TOTAL	50	\$61,533	\$5,072	\$56,462	92%	50	\$75,112	\$5,072	\$70,041	93%		
\$250 PPO												
Employee Only:	16	\$702.52	\$74.56	\$627.96	89%	15	\$773.76	\$75.00	\$698.76	90%	\$0.44	1%
Employee + Spouse:	0	\$1,645.64	\$172.20	\$1,473.44	90%	5	\$1,584.67	\$170.00	\$1,414.67	89%	-\$2.20	0%
Employee + Children:	0	\$1,645.64	\$172.20	\$1,473.44	90%	7	\$1,464.73	\$165.00	\$1,299.73	89%	-\$7.20	-1%
Employee + Family:	36	\$1,645.64	\$172.20	\$1,473.44	90%	25	\$2,304.15	\$180.00	\$2,124.15	92%	\$7.80	3%
TOTAL	52	\$70,483	\$7,392	\$63,091	90%	52	\$87,387	\$7,630	\$79,757	91%		
No Plan 2025												
Employee Only:	89	\$767.76	\$95.94	\$671.82	88%	90	\$863.75	\$95.94	\$767.81	89%	\$0.00	1%
Employee + Spouse:	0	\$1,808.64	\$219.66	\$1,588.98	88%	52	\$1,768.96	\$195.00	\$1,573.96	89%	-\$24.66	1%
Employee + Children:	0	\$1,808.64	\$219.66	\$1,588.98	88%	27	\$1,635.07	\$185.00	\$1,450.07	89%	-\$34.66	1%
Employee + Family:	210	\$1,808.64	\$219.66	\$1,588.98	88%	130	\$2,650.83	\$285.00	\$2,365.83	89%	\$65.34	1%
TOTAL	299	\$448,145	\$54,667	\$393,478	88%	299	\$558,478	\$60,820	\$497,659	89%		
		\$580,162	\$67,131	\$513,031			\$720,977	\$73,521	\$647,456			

	CURRENT	RENEWAL
	401	401
Total Enrollment	401	401
Per Employee Per Month	\$1,446.79	\$1,797.95
Total Annual Premium	\$6,961,941	\$8,651,726
Total Employee Annual Contributions	\$805,573	\$882,255
Total Annual Premium Paid by Company	\$6,156,368	\$7,769,471
\$ Change in Total Annual Premium		\$1,689,785
% Change in Total Annual Premium		24%
\$ Change in Employee Annual Contribution		\$76,682
% Change in Employee Annual Contribution		10%
\$ Change in Total Annual Premium Paid by Company		\$1,613,103
% Change in Total Annual Premium Paid by Company		26.2%

Woodbury County
Self Health Fund Activity Estimate - Using Current Year Averages
County Contributions @ 26.5% Increase
FY 2026

Month	Contributions			Wellmark Monthly Statement						Inc/(Dec)
	County	Employee	Total	Claims	Stop Loss	Direct Pay	Pharm Rebate	Fixed	Total	
July	495,496	61,070	556,566	544,685	(101,680)	(19,629)		117,368	540,744	15,823
Aug	499,102	61,398	560,500	708,468	(122,465)	(23,029)		118,248	681,222	(120,722)
Sep	495,308	60,970	556,278	684,566	(84,472)	(19,768)	(175,905)	117,368	521,788	34,490
Oct	490,495	60,363	550,858	666,401	(49,563)	(19,727)		115,801	712,913	(162,055)
Nov	490,058	60,325	550,383	645,632	(71,076)	(16,382)		118,283	676,457	(126,074)
Dec	585,000	61,000	646,000	650,000	(86,000)	(20,000)	(175,000)	117,000	486,000	160,000
Jan	645,000	73,000	718,000	650,000	(86,000)	(20,000)		140,000	684,000	34,000
Feb	645,000	73,000	718,000	650,000	(86,000)	(20,000)		140,000	684,000	34,000
Mar	645,000	73,000	718,000	650,000	(86,000)	(20,000)	(175,000)	140,000	509,000	209,000
Apr	645,000	73,000	718,000	650,000	(86,000)	(20,000)		140,000	684,000	34,000
May	645,000	73,000	718,000	650,000	(86,000)	(20,000)		140,000	684,000	34,000
Jun	645,000	73,000	718,000	650,000	(86,000)	(20,000)	(175,000)	140,000	509,000	209,000
Total	6,925,459	803,127	7,728,586	7,799,751	(1,031,257)	(238,535)	(700,905)	1,544,069	7,373,123	355,462
	89.6%	10.4%								
Actual Monthly Avg	495,100	60,950	556,051	651,030	(89,545)	(20,538)	(175,905)	117,196	614,167	(58,116)
Estimated Monthly Avg	577,122	66,927	644,049	649,979	(85,938)	(19,878)	(175,226)	128,672	614,427	29,622

Contributions for County and Employee are actual numbers for July - Nov.
Contributions for Employee Jan-Jun is an estimate from Wellmark Plan Design
Contributions for County Jan-Jun is an estimate from Wellmark Plan Design

Total Claims & Fixed 9,343,820

Wellmark data is actual for Jul - Nov. Monthly averages were used for Dec - Jun.
Fixed costs are increasing by 19.5% in Jan 2026

Woodbury County
Self Health Fund Activity Estimate - Using Current Year Averages
County Contributions @ 48.0% Increase
FY 2026

Month	Contributions			Wellmark Monthly Statement						Inc/(Dec)
	County	Employee	Total	Claims	Stop Loss	Direct Pay	Pharm Rebate	Fixed	Total	
July	495,496	61,070	556,566	544,685	(101,680)	(19,629)		117,368	540,744	15,823
Aug	499,102	61,398	560,500	708,468	(122,465)	(23,029)		118,248	681,222	(120,722)
Sep	495,308	60,970	556,278	684,566	(84,472)	(19,768)	(175,905)	117,368	521,788	34,490
Oct	490,495	60,363	550,858	666,401	(49,563)	(19,727)		115,801	712,913	(162,055)
Nov	490,058	60,325	550,383	645,632	(71,076)	(16,382)		118,283	676,457	(126,074)
Dec	585,000	61,000	646,000	650,000	(86,000)	(20,000)	(175,000)	117,000	486,000	160,000
Jan	755,000	73,000	828,000	650,000	(86,000)	(20,000)		140,000	684,000	144,000
Feb	755,000	73,000	828,000	650,000	(86,000)	(20,000)		140,000	684,000	144,000
Mar	755,000	73,000	828,000	650,000	(86,000)	(20,000)	(175,000)	140,000	509,000	319,000
Apr	755,000	73,000	828,000	650,000	(86,000)	(20,000)		140,000	684,000	144,000
May	755,000	73,000	828,000	650,000	(86,000)	(20,000)		140,000	684,000	144,000
Jun	755,000	73,000	828,000	650,000	(86,000)	(20,000)	(175,000)	140,000	509,000	319,000
Total	7,585,459	803,127	8,388,586	7,799,751	(1,031,257)	(238,535)	(700,905)	1,544,069	7,373,123	1,015,462
	90.4%	9.6%								
Actual Monthly Avg	495,100	60,950	556,051	651,030	(89,545)	(20,538)	(175,905)	117,196	614,167	(58,116)
Estimated Monthly Avg	632,122	66,927	699,049	649,979	(85,938)	(19,878)	(175,226)	128,672	614,427	84,622

Contributions for County and Employee are actual numbers for July - Nov.
Contributions for Employee Jan-Jun is an estimate from Wellmark Plan Design
Contributions for County Jan-Jun is an estimate from Wellmark Plan Design

Total Claims & Fixed 9,343,820

Wellmark data is actual for Jul - Nov. Monthly averages were used for Dec - Jun.
Fixed costs are increasing by 19.5% in Jan 2026

Woodbury County
Self Health Fund Activity Estimate - Using Prior Year Actuals
County Contributions @ 26.5% Increase
FY 2026

Month	Contributions			Wellmark Monthly Statement						Inc/(Dec)
	County	Employee	Total	Claims	Stop Loss	Direct Pay	Pharm Rebate	Fixed	Total	
July	495,496	61,070	556,566	544,685	(101,680)	(19,629)		117,368	540,744	15,823
Aug	499,102	61,398	560,500	708,468	(122,465)	(23,029)		118,248	681,222	(120,722)
Sep	495,308	60,970	556,278	684,566	(84,472)	(19,768)	(175,905)	117,368	521,788	34,490
Oct	490,495	60,363	550,858	666,401	(49,563)	(19,727)	-	115,801	712,913	(162,055)
Nov	490,058	60,325	550,383	645,632	(71,076)	(16,382)	-	118,283	676,457	(126,074)
Dec	585,000	61,000	646,000	837,361	(96,451)	(17,254)	(246,814)	118,283	595,125	50,875
Jan	645,000	73,000	718,000	627,364	-	(14,373)	-	141,000	753,991	(35,991)
Feb	645,000	73,000	718,000	686,266	-	(16,973)	-	141,000	810,293	(92,293)
Mar	645,000	73,000	718,000	640,783	(33,180)	(18,682)	-	141,000	729,921	(11,921)
Apr	645,000	73,000	718,000	823,706	(115,569)	(17,960)	(302,854)	141,000	528,323	189,677
May	645,000	73,000	718,000	767,053	(45,777)	(18,686)	-	141,000	843,590	(125,590)
Jun	645,000	73,000	718,000	653,021	(57,288)	(16,969)	(152,658)	141,000	567,106	150,894
Total	6,925,459	803,127	7,728,586	8,285,305	(777,521)	(219,432)	(878,231)	1,551,352	7,961,472	(232,887)
Monthly Avg	577,122	66,927	644,049	690,442	(64,793)	(18,286)	(87,823)	129,279	663,456	(19,407)

Contributions for County and Employee are actual numbers for July - Nov.
Contributions for Employee Jan-Jun is an estimate from Wellmark Plan Design
Contributions for County Jan-Jun is an estimate from Wellmark Plan Design

Total Claims & Fixed 9,836,657

Wellmark data is actual for Jul - Nov. Dec - Jun numbers used are from FY25 monthly statements for everything but fixed costs.
Fixed costs are increasing by 19.5% in Jan 2026

Woodbury County
Self Health Fund Activity Estimate - Using Prior Year Actuals
County Contributions @ 48.0% Increase
FY 2026

Month	Contributions			Wellmark Monthly Statement						Inc/(Dec)
	County	Employee	Total	Claims	Stop Loss	Direct Pay	Pharm Rebate	Fixed	Total	
July	495,496	61,070	556,566	544,685	(101,680)	(19,629)		117,368	540,744	15,823
Aug	499,102	61,398	560,500	708,468	(122,465)	(23,029)		118,248	681,222	(120,722)
Sep	495,308	60,970	556,278	684,566	(84,472)	(19,768)	(175,905)	117,368	521,788	34,490
Oct	490,495	60,363	550,858	666,401	(49,563)	(19,727)	-	115,801	712,913	(162,055)
Nov	490,058	60,325	550,383	645,632	(71,076)	(16,382)	-	118,283	676,457	(126,074)
Dec	585,000	61,000	646,000	837,361	(96,451)	(17,254)	(246,814)	118,283	595,125	50,875
Jan	755,000	73,000	828,000	627,364	-	(14,373)	-	141,000	753,991	74,009
Feb	755,000	73,000	828,000	686,266	-	(16,973)	-	141,000	810,293	17,707
Mar	755,000	73,000	828,000	640,783	(33,180)	(18,682)	-	141,000	729,921	98,079
Apr	755,000	73,000	828,000	823,706	(115,569)	(17,960)	(302,854)	141,000	528,323	299,677
May	755,000	73,000	828,000	767,053	(45,777)	(18,686)	-	141,000	843,590	(15,590)
Jun	755,000	73,000	828,000	653,021	(57,288)	(16,969)	(152,658)	141,000	567,106	260,894
Total	7,585,459	803,127	8,388,586	8,285,305	(777,521)	(219,432)	(878,231)	1,551,352	7,961,472	427,113
Monthly Avg	632,122	66,927	699,049	690,442	(64,793)	(18,286)	(87,823)	129,279	663,456	35,593

Contributions for County and Employee are actual numbers for July - Nov.
Contributions for Employee Jan-Jun is an estimate from Wellmark Plan Design
Contributions for County Jan-Jun is an estimate from Wellmark Plan Design

Total Claims & Fixed 9,836,657

Wellmark data is actual for Jul - Nov. Dec - Jun numbers used are from FY25 monthly statements for everything but fixed costs.
Fixed costs are increasing by 19.5% in Jan 2026

Financial Analysis

Plan Name	Woodbury County	
Plan Year	7/1/24-6/30/25	
Funds on hand (prior year's A - B)		1,356,103
Total contributions (current year)		6,686,210
Interest earned on funds (current year)		0
Specific "stop-loss recoveries" (current year)		1,276,954
Aggregate "stop-loss recoveries" (current year)		0
Other sources of revenue (current year)		615,362
Total (A)		9,934,629
Claims paid (current year)		7,998,410
Third party administrator charge (current year)		147,963
Specific stop-loss premiums		971,410
Aggregate stop-loss premiums		0
Bonding expenses (current year)		0
Actuarial fees (current year)		0
Surplus Lines Tax (if applicable)		0
Other permitted expenses (IAC 35.20) (current year)		0
Total (B)		9,117,783
Funds on hand (current year's A - B)		816,846
Third party administrator expenses due and unpaid (current year)		0
Reinsurance premiums due and unpaid (current year)		0
Third party administrator claims due and unpaid (current year)		0
Reserve for incurred but unpaid claims (current year) *		816,700
Claims fluctuation reserve (included in Grand Total) (current ye		0
Estimated reinsurance stop-loss recoveries due and unpaid (curre		0
Total (C)		816,700
Grand Total (A-B-C)		146

* Should include incurred but not reported, and reported claims not yet paid